
PROJECT STUDY & PRELIMINARY OPINION OF PROBABLE COST

Accessibility Upgrades

Unitarian Universalist Church of Urbana-Champaign

309 West Green Street
Urbana, IL 61801

RRCo Project Number: 202213
July 21, 2022

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PROJECT BACKGROUND AND SUMMARY

Unitarian Universalist Church of Urbana-Champaign (UUCUC) commissioned Reifsteck Reid & Company Architects (RRCo) and Webb Engineering Services, Inc. (WES) to develop design options and associated preliminary opinions of the probable construction cost for providing accessibility upgrades to their existing facility. Included in the study is the evaluation of the capacity in the Sanctuary and whether it can be increased. The scope of work for this submittal includes a review of existing conditions, a preliminary code review, conceptual layouts, and opinions of probable construction cost (OPC). The Church will use this study to determine the viability of making renovations to the church versus finding a new facility.

The UUCUC consists of a 1914 stone building with a large Sanctuary and basement spaces and a 1964 addition which expanded the church to the east adding a Religious Education wing. The 1914 church sits mostly on brick foundations from the original church that was built in 1871. The church of 1871 was torn down in 1913 and was rebuilt in 1914, expanding the church beyond the 1871 footprint.

The 1914 church includes a large Sanctuary on the first floor with office spaces, restrooms, a multi-purpose room, a Children's Chapel, a classroom, and mechanical spaces in the basement. Above the back third of the Sanctuary is a loft space.

The 1964 addition connects to the east side of the Sanctuary (first floor & basement) with a connecting corridor with bumped-out entrances to the north and south. At the end of the corridor is the addition and a large Fellowship Hall. The Fellowship Hall is flanked by offices, a kitchen, a classroom, and restrooms. The basement contains four classrooms, storage, mechanical rooms, and restrooms. The Church renovated the spaces in 2002.

After construction of the 1964 addition and prior to the 2002 renovations, a LULA (Limited Use Limited Application) elevator was installed on the south side of the connecting corridor, at the south entrance. Currently, the LULA does not function well, periodically breaking down, leaving someone trapped (in a small enclosure) until function can be restored. It was expressed by UUCUC members that this is a very unpleasant experience.

RRCo met with representatives of UUCUC to discuss the objectives and priorities of this accessibility study. The A/E had conducted preliminary walk-throughs to better understand the existing conditions that might be affected by proposed renovations.

The A/E (Architect/Engineer) team was tasked with making the facility more accessible. This includes adding covered ramps from grade to the first floor and from grade to the basement. Ideally, these would be located at the south entrance, which is currently the main entrance. A covered vehicle drop-off at the south entrance is proposed. This drop-off could be on the lot next to the parking lot, which the Church also owns. The A/E suggests an addition to provide an elevator and stairs. These should connect to the loft above the Sanctuary. Currently, there is only one stair to the loft, and it does not meet the code. In addition, the loft is large enough (over 50 occupants) that it requires two stairs. The elevator and stairs will assist in resolving this issue.

Since the UUCUC congregation has been growing, they are currently in need of more seating in its Sanctuary. RRCo was tasked with looking at a seating layout that allows for flexibility and can hold more occupants. RRCo also reviewed the pulpit/altar area for accessibility and proposed a solution.

Opinions of probable construction costs have been developed to aid in determining the scope for improvements. Please see the attached Opinion of Probable Cost (OPC) in the appendix of this report for complete summaries of each building and breakdowns of estimated costs.

With the current level of design, the costs are preliminary in nature. Costs provided were developed using RS Means and Reifsteck Reid & Co. Architects' historical data. At this early stage of design, RRCo has included in the Total Budget cost a 20% design contingency for currently unknown conditions and program refinement.

This percentage will be reduced as the project moves through design development, but these costs are typically not recouped; they are typically absorbed into the project as project scope becomes clearer.

As of the writing of this report, construction pricing is extremely volatile in both the labor and material markets, to the point where manufacturers and suppliers are often unwilling to hold quoted prices for more than a week. It is difficult to forecast potential price escalations but with both the current lack of material supply and increasing demand for labor, prices are expected to remain higher than average. The industry is expecting on average at least a 15 percent escalation in the major building materials through the end of this year. Some forecasters are anticipating labor shortages to persist or worsen for the next year or more. All of this may result in bidding costs to exceed the OPC estimated costs, so a bid contingency of 5% has also been included. Invariably, issues arise during construction, especially when dealing with the demolition of existing structures, so a construction contingency of 5-10% has been added, depending on the amount of demolition.

BUILDING CODE ANALYSIS

A preliminary code study was performed to confirm the program requirements and facilitate the design. This code study is intended to follow the requirements of applicable current codes. New construction and renovation work will be in accordance with the applicable codes and standards. Additional code research would be required and would continue as the project moves forward, and any required changes will be incorporated as the design phases progress.

Codes and Standards

Life Safety Code (NFPA 101) 2015 Edition
2021 International Building Code
2021 International Existing Building Code
Illinois Energy Conservation Code – current edition
Illinois Plumbing Code, 2014
2018 Illinois Accessibility Code
2010 ADA Standards for Accessible Design
2021 International Mechanical Code

Occupancy: Non-separated mixed-use A-3, B, & A-2
Construction Type: Original Church: 3B (with fire wall)
1964 Addition: VB

There are a couple of items of note relative to codes. The current first-floor area is 10,340sf. Including a frontage increase, the allowable floor area for type VB construction is 10,500sf. Since we are adding floor space in all the proposed options, we will go over the allowable area. This can be addressed by designing a firewall (a 2-hour rated wall with 90-minute rated doors) at the connection between the original church and the 1964 addition. A firewall will allow us to treat the original church and the 1964 addition as two separate buildings with their own allowable areas. The firewall must extend out 4' beyond the extent of the connection, this would require the removal and infill of the first-floor window on the north and south sides of the Sanctuary.

It appears that the previous renovations in 2002 were trying to create a fire barrier at this location, however, it looks like they no longer meet current code standards. The 2002 drawings call out for B-label doors at either end of the connecting corridor. B-label doors come with a 60-minute fire rating. Doors in a 2-hour firewall need to be 90 minutes, so these would need to be replaced to meet current codes. This would include the doors in the basement at this location as well. This cost is included in the OPC for the main building addition.

It should be noted that any other rated items crossing these two boundaries need to follow the 2-hour fire wall rating, this may include dampers. These costs are NOT included in the OPC. Upgrades to fire-rated wall assemblies may be required but are not included in the OPC.

For all but the East Ramp, renovations are occurring only at the connecting corridor and the north and south entrances, therefore we aren't obligated to bring anything to the east up to current codes. However, the East Ramp project would be adding square footage to the fire area containing the Fellowship Hall (A-2). Per code, an overhang or canopy (not including eaves) contains square footage below that adds to a building area. For A-2, the fire area is 5,000sf or 100 occupants. The Fellowship Hall will have well over 100 occupants, per code. Therefore, if we move forward with the East Ramp as a project, the 1964 addition will need a sprinkler system. Please note that if you do any alterations to 1964, the 100-occupant threshold may require a sprinkler system (depending on what is done).

To separate the fire area of the Fellowship from the new additions, a 2-hour fire barrier (with 90-minute doors) should be constructed between the connecting corridor and the Fellowship Hall. Again, the 2002 renovations call these to be B-label doors, so these doors at the Fellowship Hall, and in the basement, need to be upgraded. These costs are included in the OPC.

HAZARDOUS MATERIALS

No asbestos or lead-based paint testing has been performed as a part of this study. Testing for suspect materials should be performed before disturbance in any proposed renovation or demolition project.

ARCHITECTURAL NARRATIVE

The A/E had developed a single site layout to provide more parking and a drive-up. The A/E has developed four options for the main (south) entry, including an elevator, stair, entrance canopy, and potential entry ramp. A single option has been developed for a ramp on the east side of the building that connects the basement, first floor, and grade. And finally, a seating layout has been developed to provide more seating capacity.

Site Layout

The proposed site layout expands the current parking lot to the east into what is currently a grass field. The proposed layout (see sheet PR0) switches the direction of the access drive and allows for a drop-off point at the main entry. The drive starts at the existing west access drive (off S. Birch St.) and extends to the east turning south at the east property line and terminating at W. High St. with a new curb-cut. The existing access drive off W. High St. would be removed and moved further east. The existing parking lot has 18 spaces, including two accessible spaces. The proposed layout has 25 spaces and includes three accessible spaces. Urbana zoning requires the addition of shade trees when a parking lot exceeds 20 spaces. The result is the addition of three shade trees.

The final site layout will need to be reviewed by the city. This layout is included in all four Main Entry options.

East Ramp & Roof Extension

This proposal places a ramp at the east end of the building that connects the basement, grade, and first floor. The existing east entry and its associated doors, planters, paving, and steps will be demolished. The north stair at the east end of the Fellowship Hall will be demolished and the corner of the northeast basement classroom will be surrendered to become a corridor. To connect the basement and first floor, a 129' long ramp at 1:12 is required. This is accomplished by a ramp that starts at the landing of the south with a new door through the exterior wall to the top landing. It then ramps towards the east to a landing and then ramps north and then south, switching back and forth, back towards the 1964 addition, until it reaches the basement level.

A new exterior door is added underneath where the demolished north stair was located and is connected to the existing corridor via the surrendered space in the northeast classroom. Intermediate landings are placed along the length of the ramp. At the northernmost landing, there is a stair down to the basement and a connection to the grade at the existing sidewalk. As one can see, this is a very long ramp. Accommodating this long of a ramp at the Main (south) Entry is virtually impossible without taking valuable space away from the parking lot and driving. So, while locating this ramp at the east end of the building is not the most desirable, it really fits best here and doesn't become a large obstruction at the entry.

To provide protection from the weather, it is proposed that the roof be extended over the ramp. This is accomplished with beams spanning from the 1964 addition to a line of columns on the east side of the ramp. The columns are clad in pressure-treated lumber with an angled top to mimic the 1964 addition's fins. The major detractor to this solution is that it doesn't provide a covered walkway from the South Entry to this ramp. Finally, skylights are added adjacent to the windows on the east end of the 1964 addition to bring natural light into the end of Fellowship Hall. This work is included in Main Entry Options 1 & 3. However, since this is a stand-alone element, it can be easily added or removed from any option. As previously mentioned in the code narrative, performing this work will require a sprinkler system to be installed throughout the 1964 addition. This cost is included in the OPC for this item.

Main Entry Options

Option #1

This option aims to fulfill all requests made by UUCUC. It is comprised of an addition that includes an elevator next to the north entrance and a stair next to the south entrance. A vestibule that includes a coat area that is situated between the new stair and the Sanctuary. Little work is performed in the connecting corridor, mainly reconfiguring the coat areas. Heading south and then west out of the vestibule is a covered concrete ramp that slopes down to grade. A stair down to grade is also provided. Almost 75' of ramp at 1:12 slope is required to go from grade to the first floor. While the ramp doesn't lead directly to the south entrance, it

seemed better to have the ramp off to the side to leave a more open entry. With the exception of the LULA being removed, the south and north entrances are generally left intact. The space where the LULA will be converted into a storage closet. This could be used for shovels, rakes, salt, etc. An entrance canopy is constructed off the south entrance extending over the access drive. The new stair and elevator extend to a second floor connecting to the loft above the Sanctuary. The second floor also includes a storage area. The elevator extends down to the basement, while the stair does not. The stair could extend to the basement, but it doesn't seem necessary with the existing stairs in the entrances providing access to grade. Alterations in the basement are minimal with the LULA stop being converted to a storage space, an elevator machine room is added, and the north coat area is reduced in size.

This option proposes the addition to be clad in brick to match that of the 1964 addition. A large decorative window in the stair tower mimics the shape of the fins on the 1964 addition façade. The rooflines of the stair and elevator tower are trimmed out to match the 1964 addition. The ramp canopy is also trimmed out at the roofline like that of the 1964 addition. The entrance canopy continues the existing roofline, this is seen well in the "Main Entry looking North-West" rendering. Both canopies have a steel structure and lighting for illumination. Canopy columns are clad in pressure-treated lumber with an angled top to mimic the 1964 addition's fins.

It should be noted that both canopies will require the relocation of power, fiber, CATV, and other lines. No investigation has been made to see if the utility companies would allow us to have them ran underground. And if allowed, this may be a significant cost. No cost has been included in the OPCs for utility relocation. If a project including a canopy moves forward, investigation needs to be one of the first things performed. The east ramp is also included in this option.

Option #2

This option flips the locations of the elevator and stair in Option #1 with the stair now next to the north entrance and the elevator next to the south entrance. A desirable feature about this option, compared to Option #1, is that the elevator tower doesn't protrude out into the south entry plaza as the stair does in Option #1. Similar to Option #1, this design connects to the loft on the second floor and some storage space is included. The elevator continues to the basement while the stair only goes from the first floor to the second floor. Demolition is minimal. Ramps to the basement and first floor are not included and accessibility is achieved via a modern elevator only. The entry canopy has been lowered to express it as a separate element, but still has 9'-6" clearance. This option highlights the costs of the ramps.

Instead of brick facades for the elevator and stair towers, this option proposes using cast stone to mimic the façade of the 1914 church. This option also trims the rooflines to match the 1964 addition.

Option #3

This option takes a different approach by locating both the elevator and stair on the south side. A desirable aspect of this design is the addition is all in one place, which is likely to have a lower cost. Again, demolition is minimal. One undesirable aspect is that six windows in the back of the Sanctuary will need to be blocked off permanently. Like Option #1, the entry canopy continues the existing 1964 addition roof lines.

This option proposes the use of brick and trims the rooflines to match the 1964 addition. The east ramp is also included in this option.

Option #4

This option configures the elevator and stair the same as Option #2 with the stair next to the north entrance and the elevator next to the south entrance. This design proposes the use of a hybrid ramp/stair where the ramps and steps are intermingled. The ramps in this option are 1:20 and therefore do not require handrails. The best feature is that unlike Option #1, where the ramp is very much a separate element, this design allows the ramp and stairs to be part of an elegant solution.

These ramp/stair hybrids have been used around the world. Some examples in North America are Robson Square in Vancouver, Pioneer Courthouse Square in Portland, and the Illinois Institute of Technology in Chicago, as well as other projects around the world. The option demolishes the existing south entrance and constructs a new south entrance situated further north. This allows the ramp/stair hybrid to be further north,

avoiding extending too close to the drop-off drive. The canopy gets quite large when you consider all that it needs to cover. So, this canopy takes a different approach by using translucent polycarbonate panels as roofing rather than traditional opaque low slope roofing. The canopy will be large but feel light and open. The canopy sits just above the existing roof line, to the point where it gets quite high at the southern end of the ramp/stair hybrid, therefore the drop-off drive canopy portion is lowered. This design does not include ramp access to the basement. This option proposes the use of brick and trims the rooflines to match the 1964 addition.

Opinions of Probable Cost

We have broken the pricing into separate items. These include the following "Pricing Items":

1. Option #1 – Main Building, Elevator, and Stair
2. Option #1 – Main Entry, Ramp with Canopy
3. Option #1 – Main Entry Canopy
4. East Ramp and Roof Extension
5. Option #4 – Main Entry, Ramp, & Canopies
6. Parking Lot

We have only priced Option #1 for the Main Building, Elevator, and Stairs (Pricing Item 1) since all the options will be similar in cost. We did the same with Option #1's Main Entry Canopy (Pricing Item 3) since the canopies in Options #2 & 3 are very similar.

Option #1

This option includes an elevator, stair, ramp & canopy at the south entrance, main entry canopy, east ramp and roof extension, and parking lot. The OPC for this option is \$3,099,000.

Option #2

This option includes an elevator, stair, main entry canopy, and parking lot. Accessibility is achieved by the elevator only. The OPC for this option is \$1,756,000.

Option #3

This option includes an elevator, stair, main entry canopy, east ramp and roof extension, and parking lot. The OPC for this option is \$2,781,000.

Option #4

This option includes an elevator, stair, ramp/stair hybrid & canopy at the south entrance, main entry canopy, east ramp and roof extension, and parking lot. The OPC for this option is \$2,511,000.

Notes:

As noted previously, construction prices are extremely volatile and cost exercises at this time are hard to predict. Price increases are being forecast for multiple sectors. Costs included in this report reflect the A/E's understanding of current pricing, however, increases are probable for both materials and labor. The OPC does not include A/E fees, A/V, FF&E, kitchen equipment and appliances, hazardous materials testing, and abatement. The OPC assumes the start of construction in the next year and a half.

Sanctuary Seating Capacity

UUCUC conveyed that their congregation is growing and that they need more seating in their Sanctuary (currently 237 seats). They also want to make the Chancel area accessible. RRCo proposes a new layout, including code compliant ramp, see sheet PR6-1. A ramp is proposed in the same place as the current non-code compliant ramp. The Chancel floor is about 12 ½" above the Sanctuary floor, so this requires a 12'-6" ramp at 1:12. UUCUC also expressed that they'd like to see a layout that gives more flexibility. The proposed layout uses 20" wide worship chairs that can be connected together.

A few code requirements to be aware of; if an assembly space, like a Sanctuary, has more than 200 seats, they must be fastened together into groups of no less than three or be fastened to the floor. In addition, if an

assembly space has a fire area with over 300 occupants, a sprinkler system is required. To avoid the cost of a sprinkler system, we would need to provide a 2-hour fire barrier (& 90-minute rated doors) in-between the Sanctuary and corridor, to close off the Sanctuary into its own fire area, and you have to have seating under 300.

As previously discussed, the 2002 renovation drawings call out for B-label doors to be installed between the Sanctuary and corridor. These are deficient, so they need to be replaced. This cost is included in the OPC for the main addition, for other code reasons described earlier. The proposed layout provides seating for 296, including 5 accessible spaces. The spacing between rows of chairs is set close to the code minimum, at 15" from the front of the chair to the back of the chair. It may be beneficial for the congregation to physically layout some of their chairs to see if this spacing is comfortable and provide feedback as the design moves forward. Please note, that chairs come in many different sizes.

If a center isle is desired, a two-chair wide isle reduces the capacity to 260. A three-chair wide isle reduces the capacity further to 242. Using the 296-person capacity, zoning requires 1 parking space per 5 seats. This yields 60 parking spaces. The proposed parking lot increases the number of spaces to 25. It was mentioned that the Church has an agreement with Timothy John Salon & Spa to use their parking lot. If their parking lot has a capacity of 35 or more, this would satisfy the zoning parking requirements. Moving forward, the Salon's parking lot capacity should be verified.

PLUMBING & HVAC NARRATIVE

Existing Conditions:

Observations from the 1964 Addition Drawings and site visits relevant to Plumbing and HVAC:

- The Site Plan shows water service, gas service and drainage tile piping below the sidewalk to the Foyer on the north side of the building. The gas meter is located on the west wall of the Foyer.
- The Site Plan shows an 8" sanitary sewer under the east-west sidewalk on the south side of the building near the property line. (It is assumed that there is a utility easement in this area.)

Observations from the 2002 Addition Drawings and site visits relevant to Plumbing and HVAC:

- The addition and new elevator were not constructed. The removal of the boiler and perimeter radiation in the original building was not replaced with furnace/ac heating and cooling. The domestic water heater was relocated to the boiler room in the southeast corner of the original building boiler room. The water heater intake and vent extend through the east wall north of the existing chimney.
- The plumbing drawings show a new 2" water service on the north side of the building. It has not been verified/determined if this new water service was installed or if the line below the sidewalk shown on the 1964 Addition drawings is still active. (We suspect/assume the service was replaced as indicated in the 2002 drawings.)
- The plumbing drawings show an existing gas meter on the south side of the original building. The meter is located where indicated.

Observations from site visits relevant to Plumbing and HVAC:

- There are (2) sensors near the water heater intake/vent north of the chimney, It is assumed that they are associated with the boiler.

Proposed Design Approach:

- Provide sump pump to serve new elevator pit.
- Provide mini-split cooling unit to serve new elevator machine room.
- Provide furnace/air conditioning to serve Corridor and Stairwell.
- Relocate gas meter on north side of building and reroute gas piping to accommodate addition.
- Reroute water service piping on north side of building to accommodate addition.
- Reroute downspout storm piping and below grade drain piping to accommodate addition.
- Relocate gas meter on south side of building and reroute gas piping to accommodate addition.
- Relocated domestic water heater intake and vent on south side of building to accommodate addition.
- Relocate sensors on south side of building to accommodate addition.

ELECTRICAL NARRATIVE

Existing Conditions:

Observations from the 2002 Addition Drawings and site visits relevant to Electrical:

- The addition and new elevator were not constructed.
- The 800-amp electrical service was installed per the drawings.
- The current electrical service secondary is routed underground from the utility CT Cabinet on the south side of the addition to an existing utility pole located in the southeast corner of the property. Capacity of the service is 800-amp.

Proposed Design Approach:

- Provide lighting, receptacles, fire alarm, technology, etc. for new addition. Utilize existing services in the building.
- Provide new lighting in exterior canopies. Lighting to be controlled by photocell and timeclock
- Provide electrical connection from existing Main Distribution Panel to Elevator.

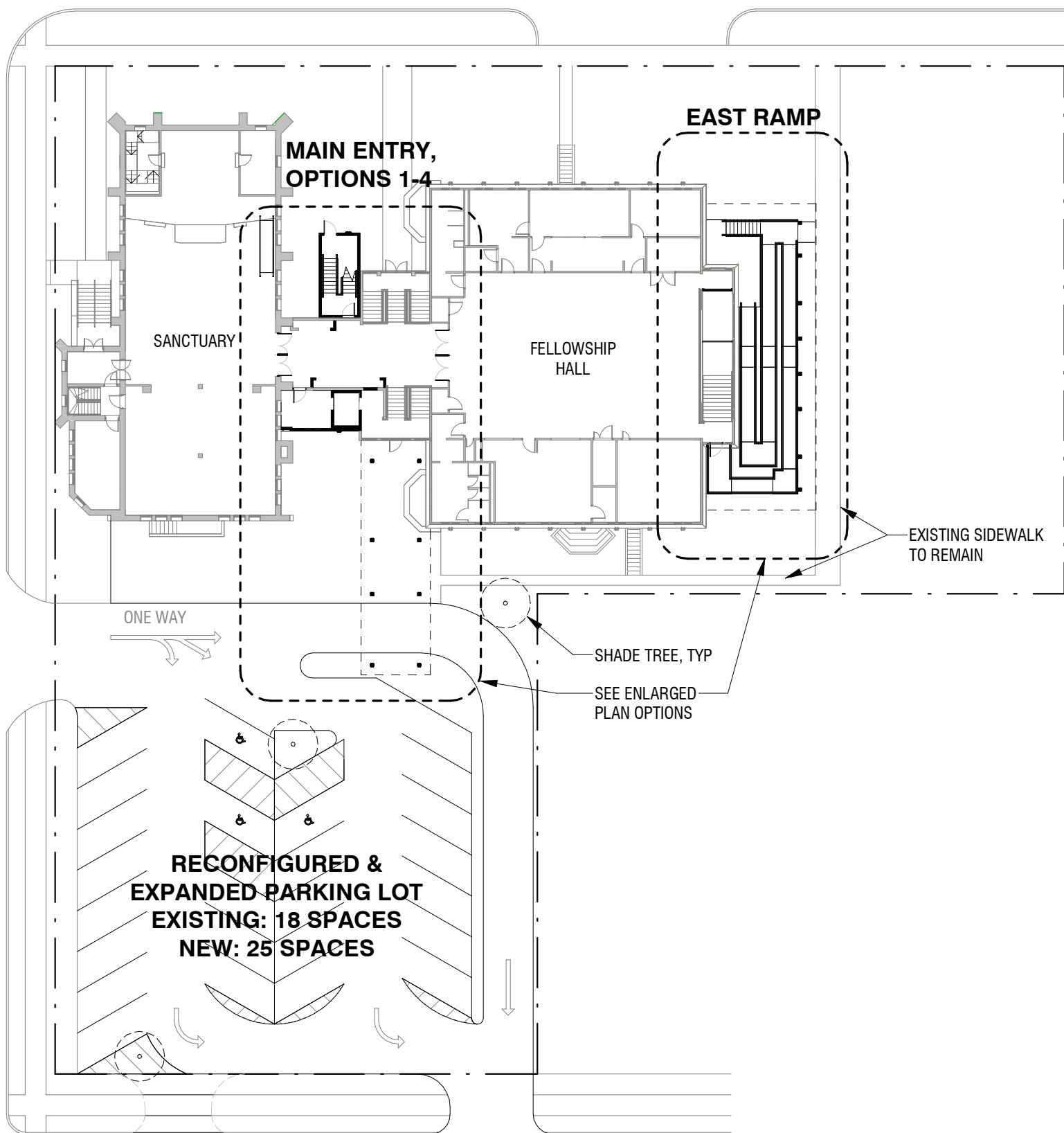
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- Provide light fixture, switch and GFCI receptacle in elevator pit.
 - Provide electrical connection to sump pump to serve new elevator pit.
 - Provide electrical connection to mini-split cooling unit to serve new elevator machine room.
 - Provide electrical connection to furnace/air conditioning to serve Corridor and Stairwell.
 - Provide site lighting in parking lot including concrete bases, conduit, conductors, trenching and backfill as required.

APPENDIX

Plans and Renderings, Options #1-4 & East Ramp

Seating Layout Plans

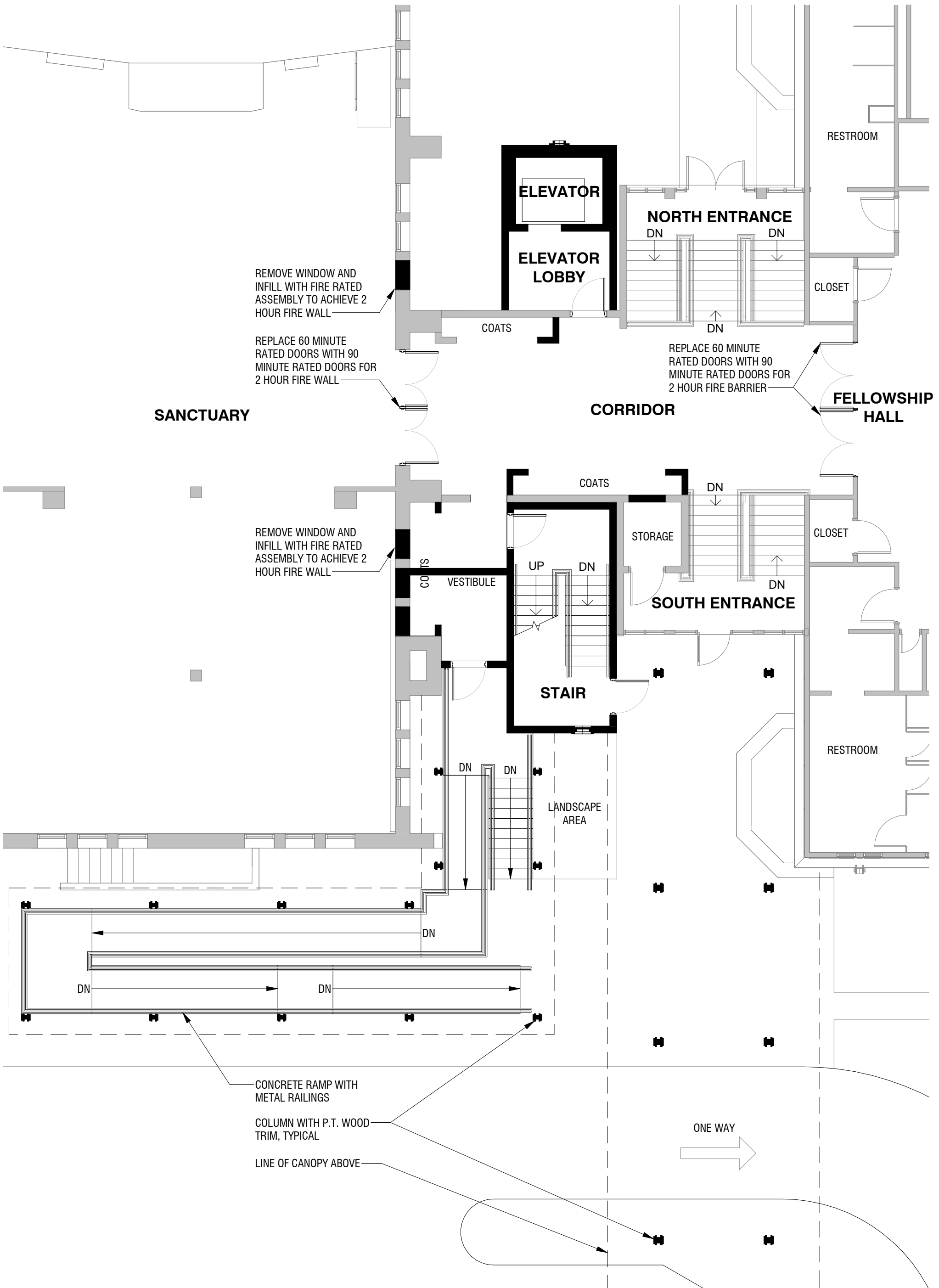
Opinions of Probable Costs



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PRO

PROPOSED FIRST FLOOR KEY PLAN AND PARKING LAYOUT

1/32" = 1'-0"



SANCTUARY

CORRIDOR

RESTROOM

ELEVATOR

ELEVATOR LOBBY

NORTH ENTRANCE

CLOSET

COATS

REPLACE 60 MINUTE RATED DOORS WITH 90 MINUTE RATED DOORS FOR 2 HOUR FIRE BARRIER

FELLOWSHIP HALL

REMOVE WINDOW AND INFILL WITH FIRE RATED ASSEMBLY TO ACHIEVE 2 HOUR FIRE WALL

COATS

DN

CLOSET

VESTIBULE

UP

DN

STORAGE

SOUTH ENTRANCE

DN

STAIR

RESTROOM

LANDSCAPE AREA

DN

DN

DN

DN

CONCRETE RAMP WITH METAL RAILINGS

COLUMN WITH P.T. WOOD TRIM, TYPICAL

LINE OF CANOPY ABOVE

ONE WAY

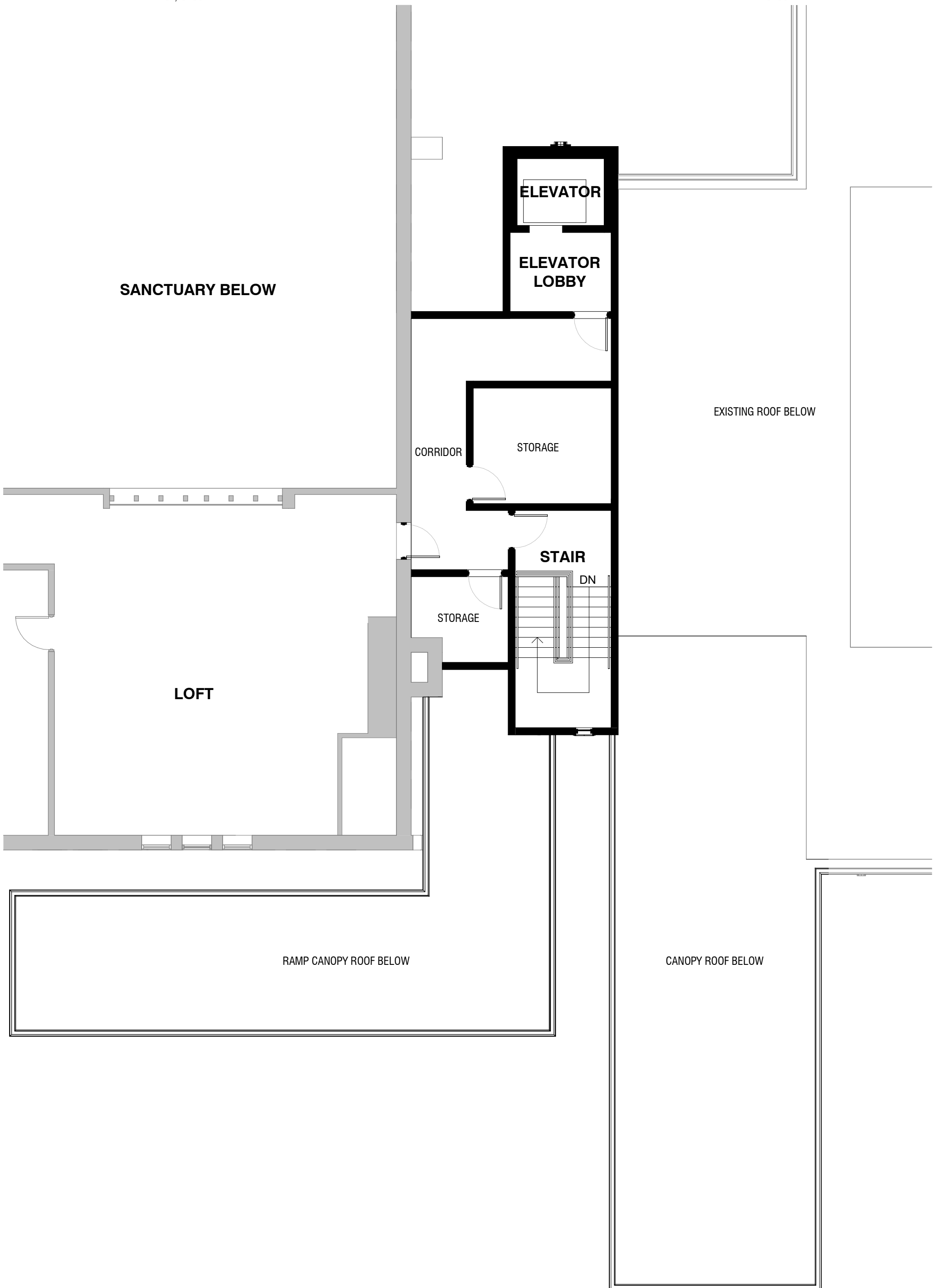


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PR1-1

PROPOSED FIRST FLOOR PLAN - OPTION #1

1/8" = 1'-0"





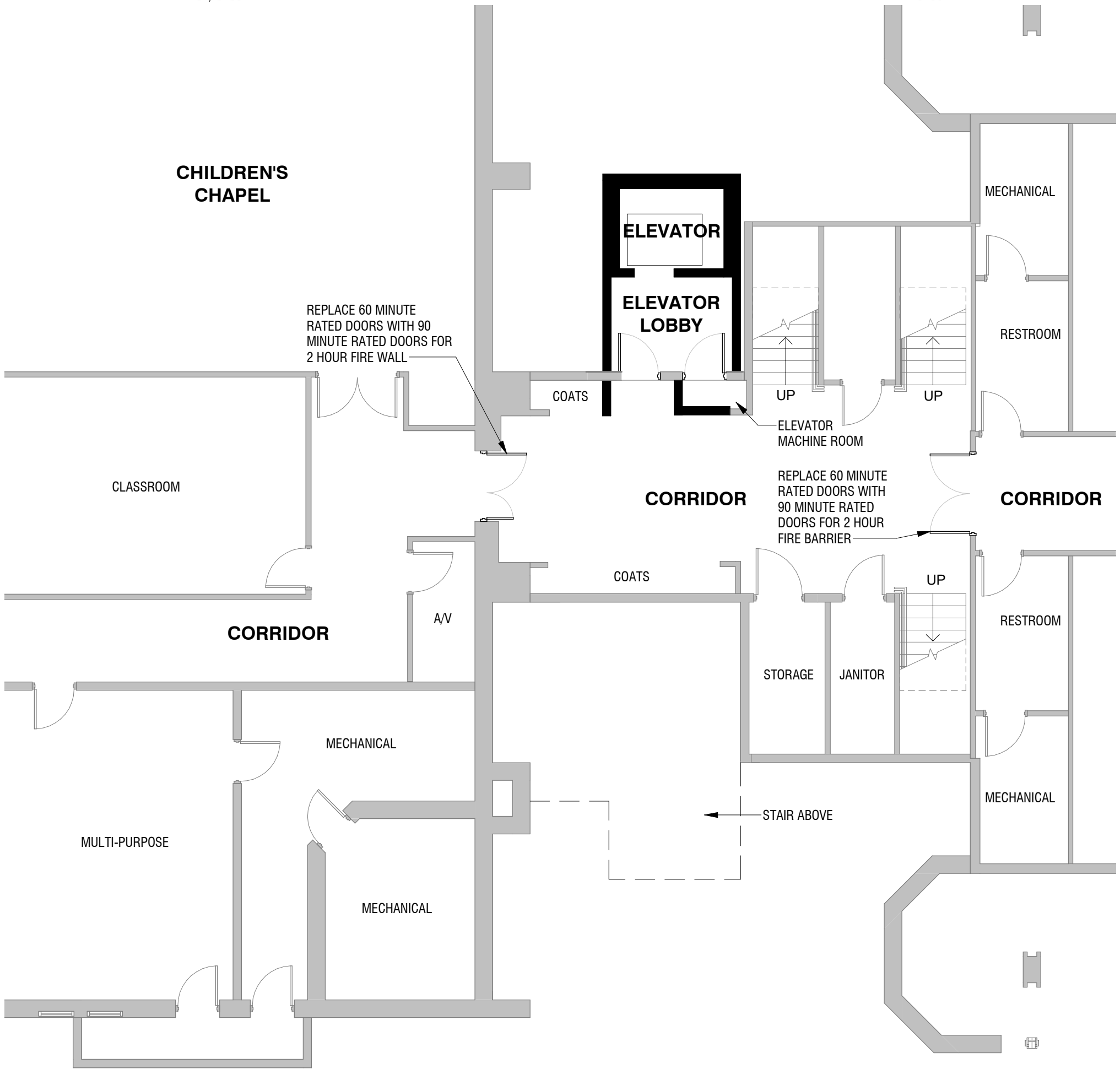
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PR1-2

PROPOSED SECOND FLOOR PLAN - OPTION #1

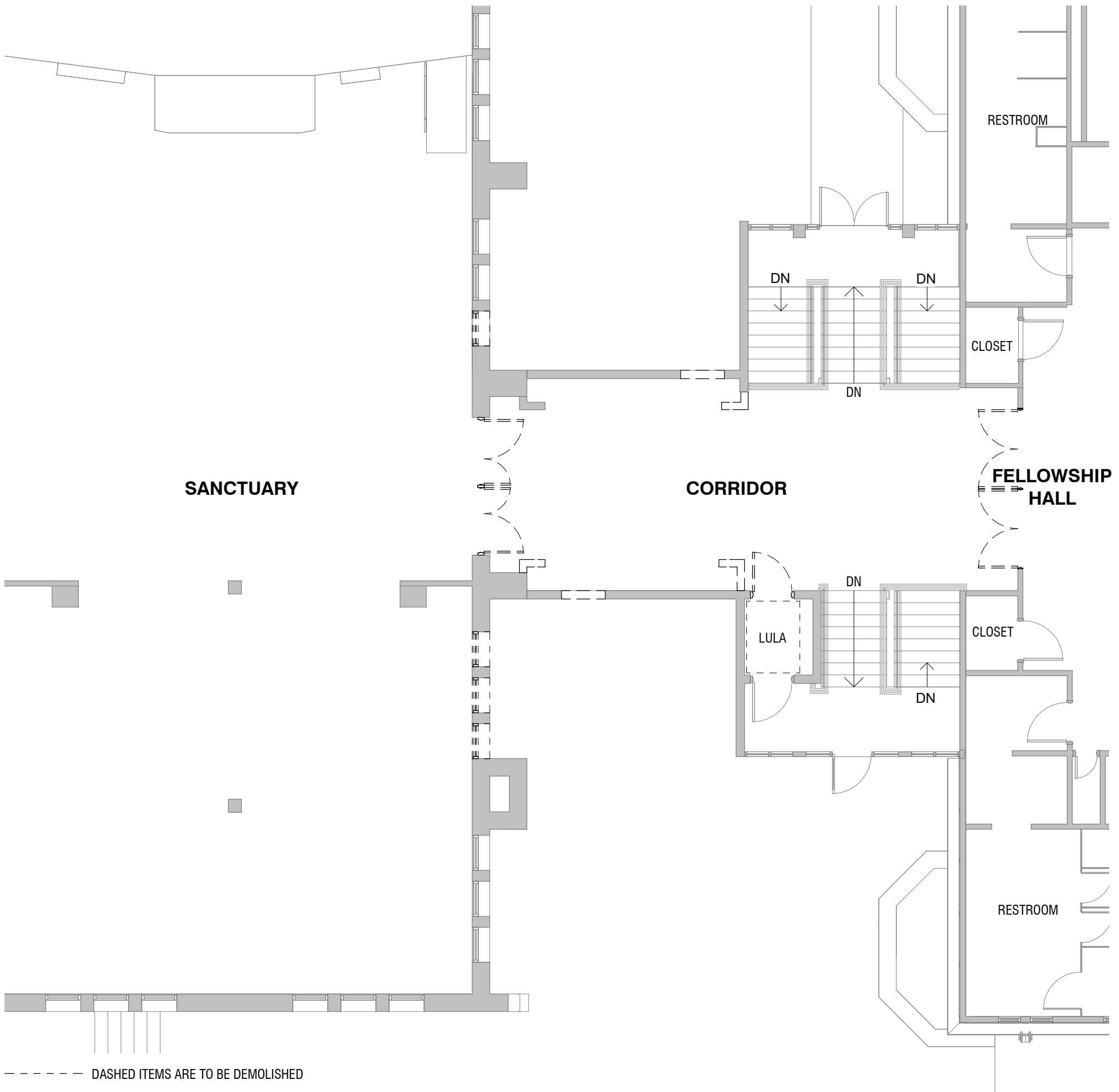
1/8" = 1'-0"



REIFSTECK
REID

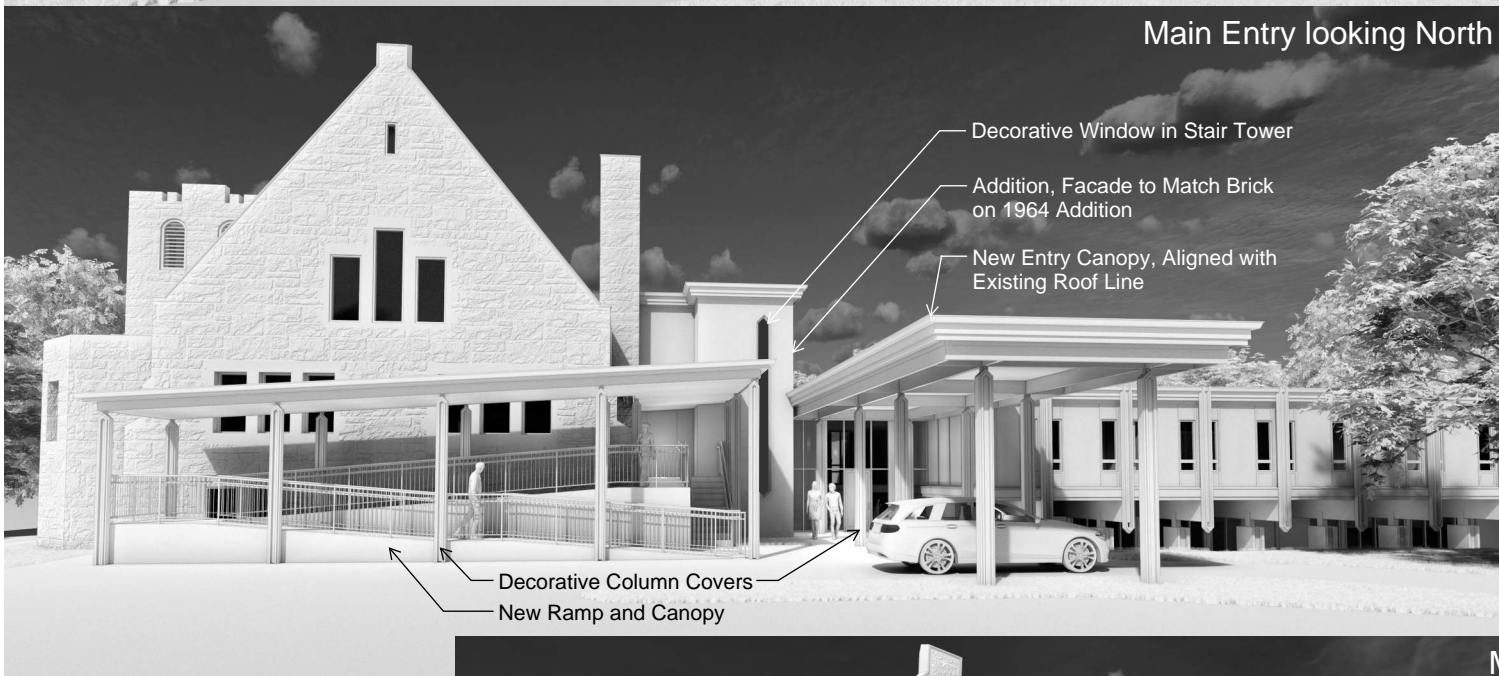


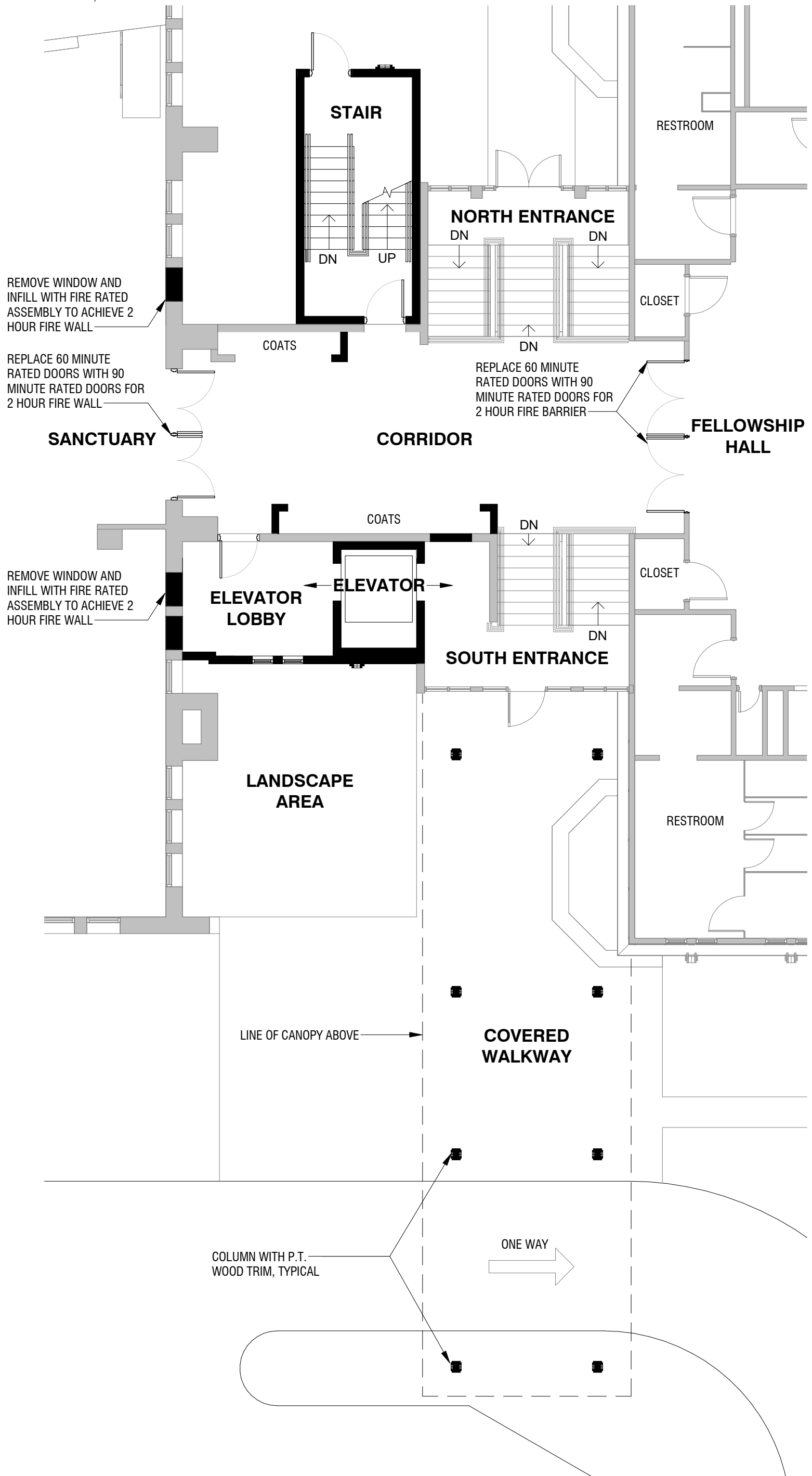
 **1** **PROPOSED BASEMENT PLAN - OPTION #1**
 PR1-B 1/8" = 1'-0"



 **1** **PROPOSED FIRST FLOOR DEMOLITION PLAN - OPTION #1**
 PR1-D1 1/8" = 1'-0"

OPTION #1 RENDERINGS





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PR2-1

PROPOSED FIRST FLOOR PLAN - OPTION #2

1/8" = 1'-0"



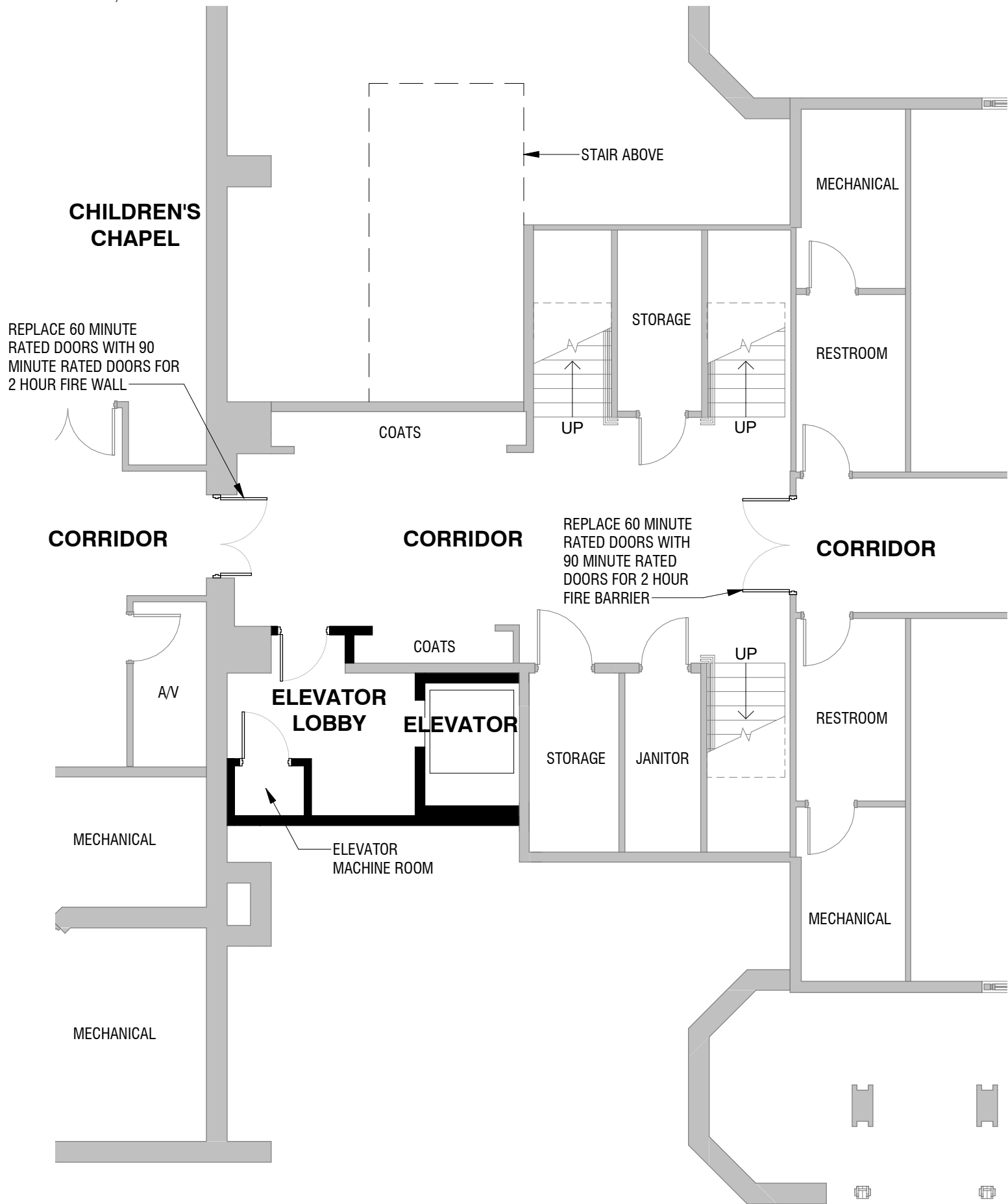
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PR2-2

PROPOSED SECOND FLOOR PLAN - OPTION #2

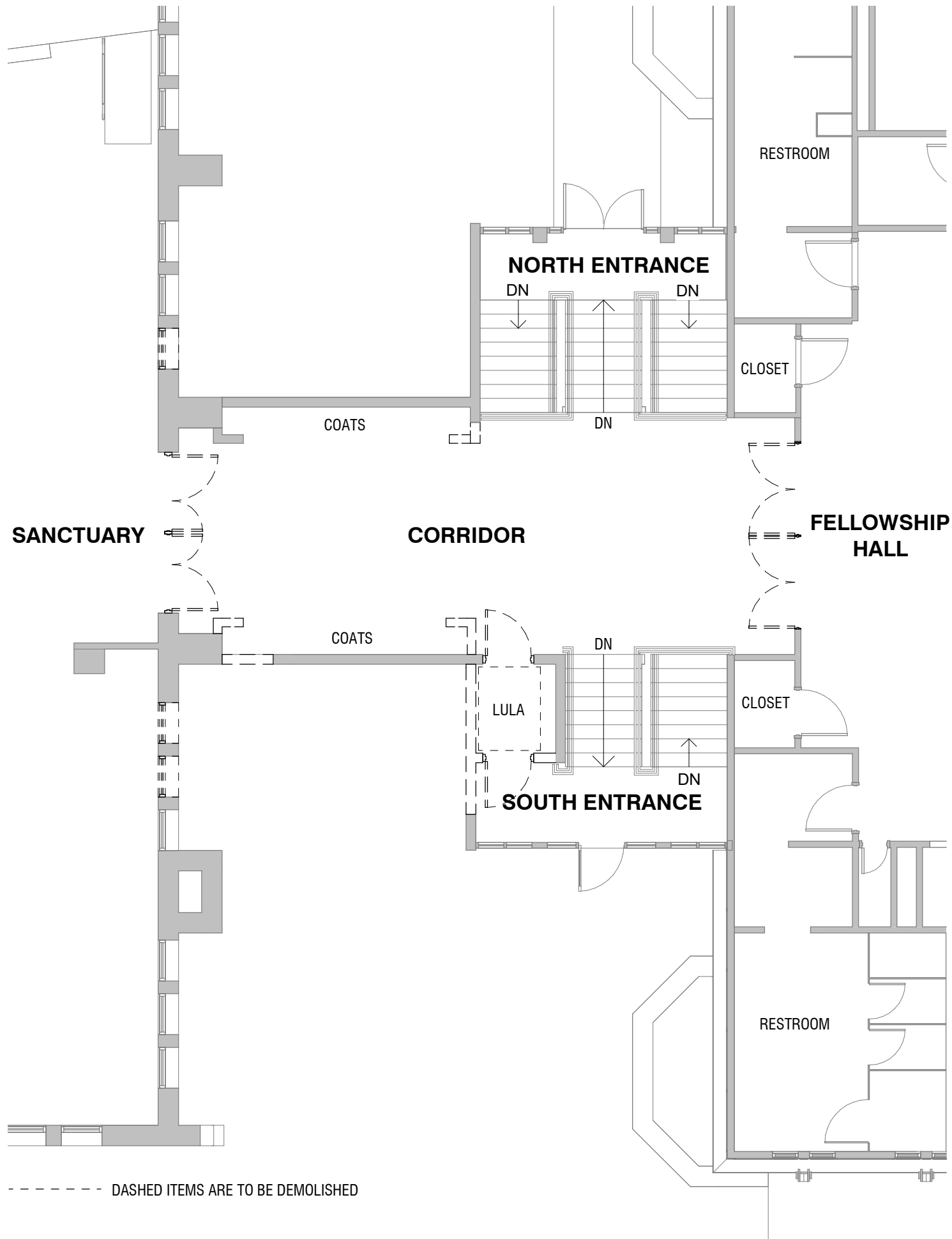
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PR2-B

PROPOSED BASEMENT PLAN - OPTION #2

1/8" = 1'-0"



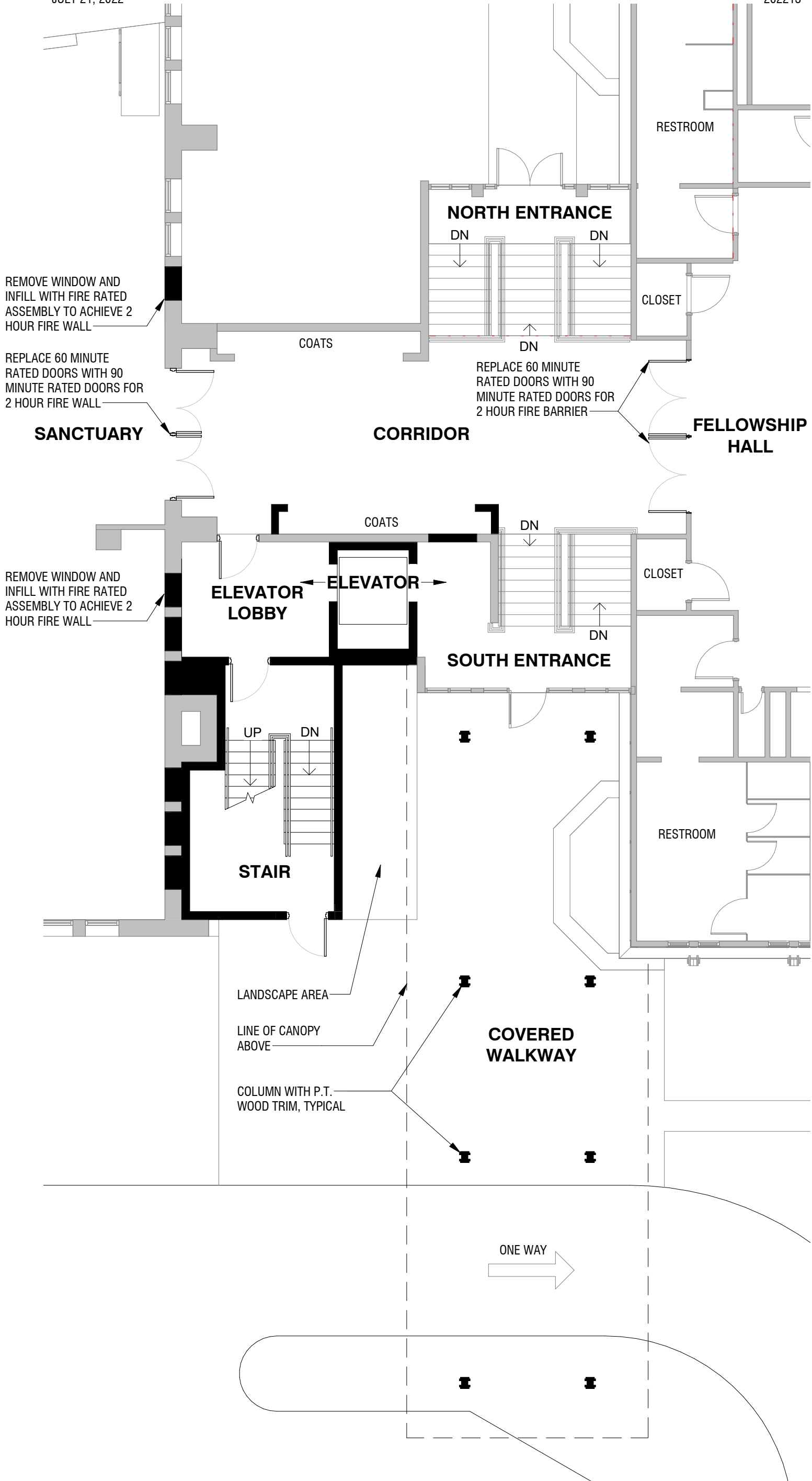
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PR2-D1

PROPOSED FIRST FLOOR DEMOLITION PLAN - OPTION #2

1/8" = 1'-0"

OPTION #2 RENDERINGS



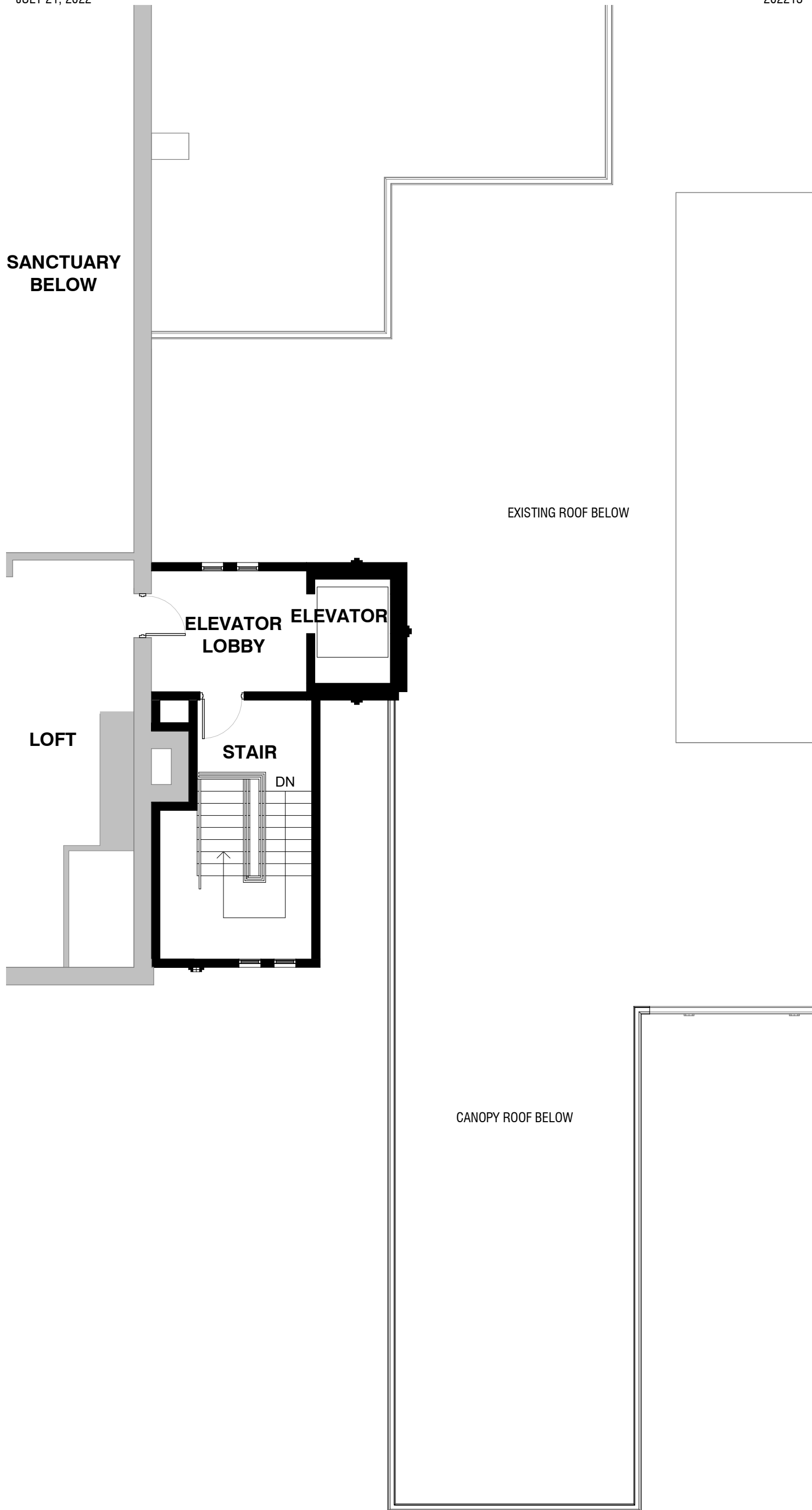


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PR3-1

PROPOSED FIRST FLOOR PLAN - OPTION #3

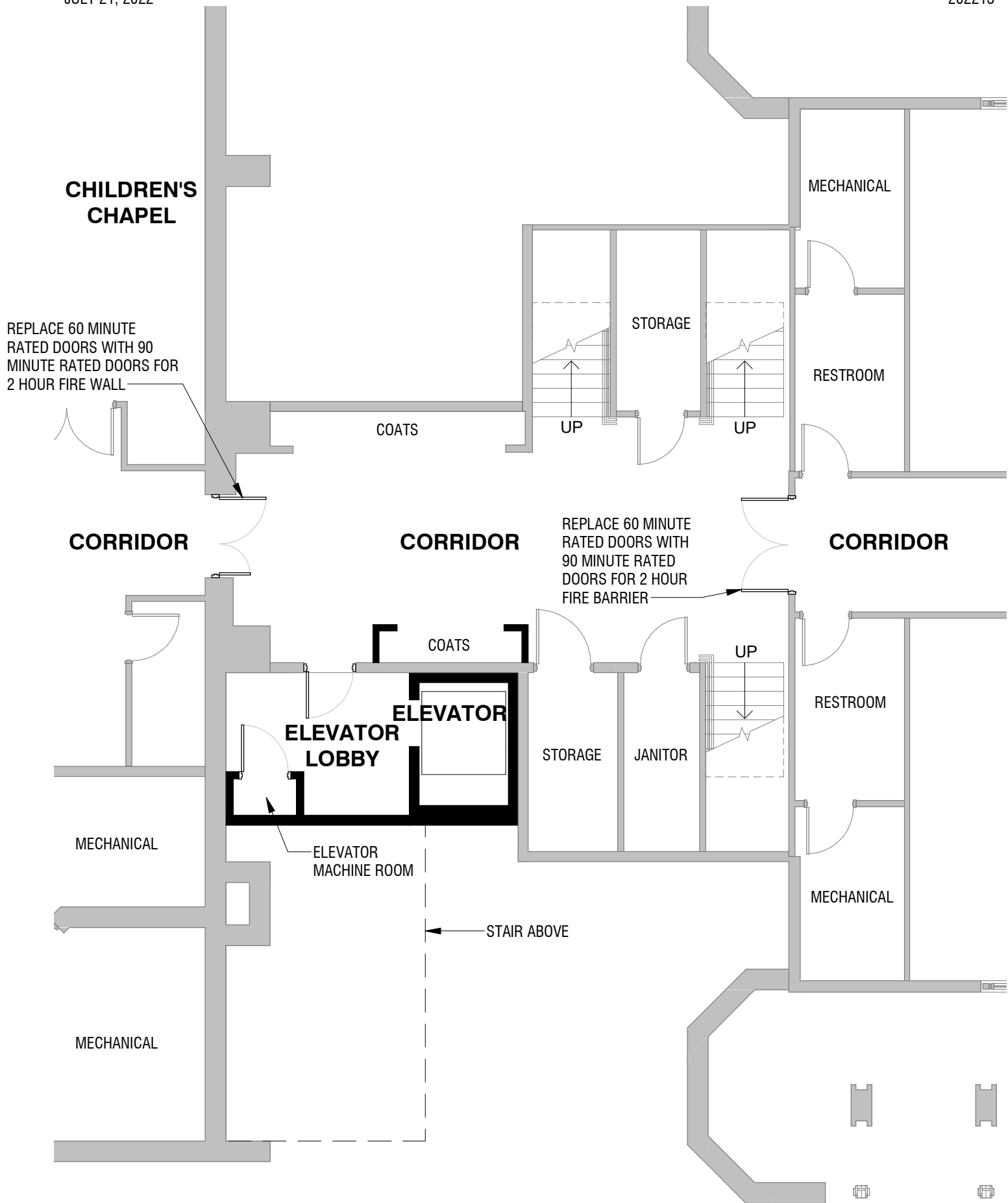
1/8" = 1'-0"





PROPOSED SECOND FLOOR PLAN - OPTION #3

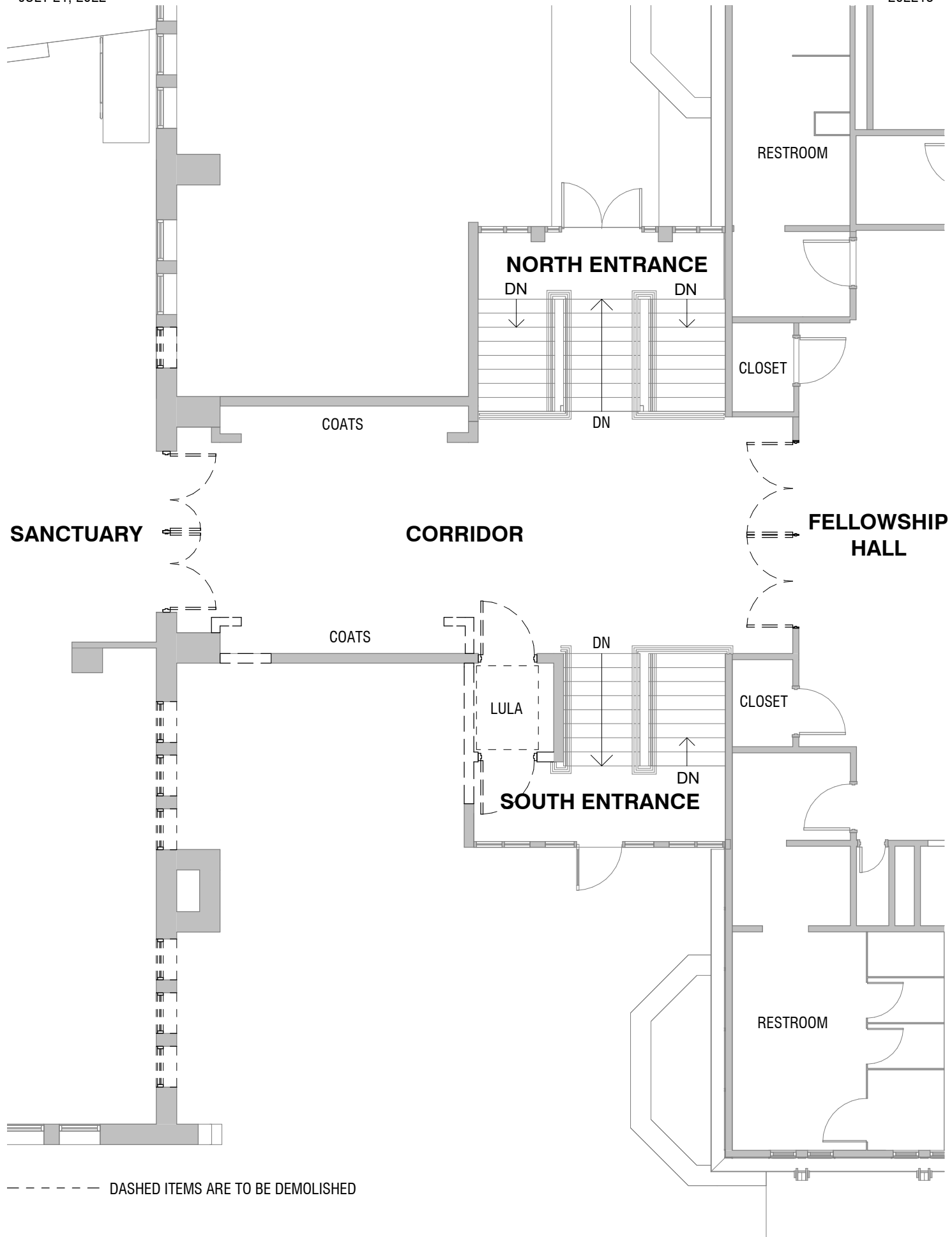
1/8" = 1'-0"



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PR3-B

PROPOSED BASEMENT PLAN - OPTION #3

1/8" = 1'-0"



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PR3-D1

PROPOSED FIRST FLOOR DEMOLITION PLAN - OPTION #3

1/8" = 1'-0"

OPTION #3 RENDERINGS

Main Entry looking North-West

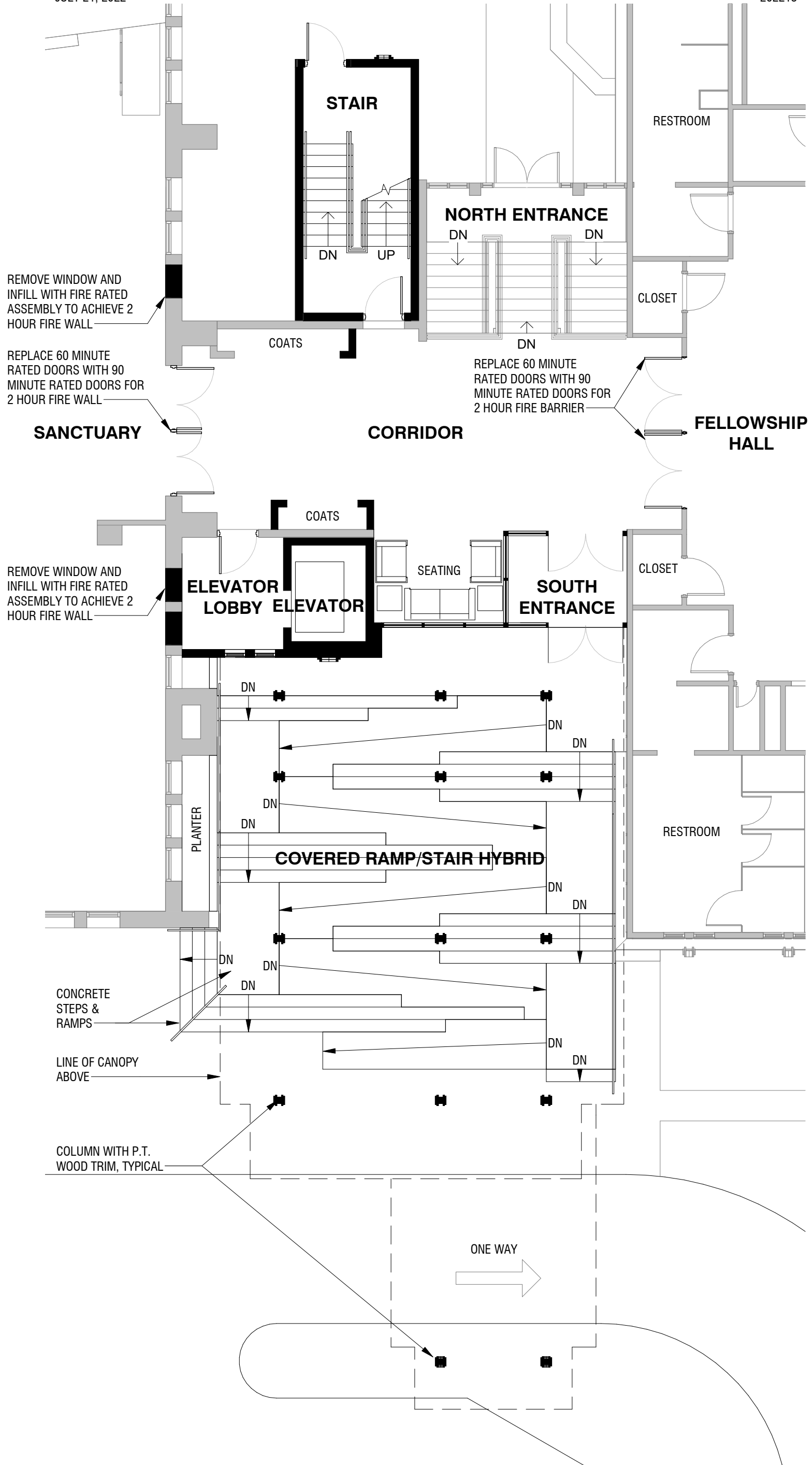


Main Entry looking North



North Entry looking South





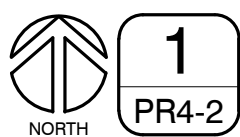
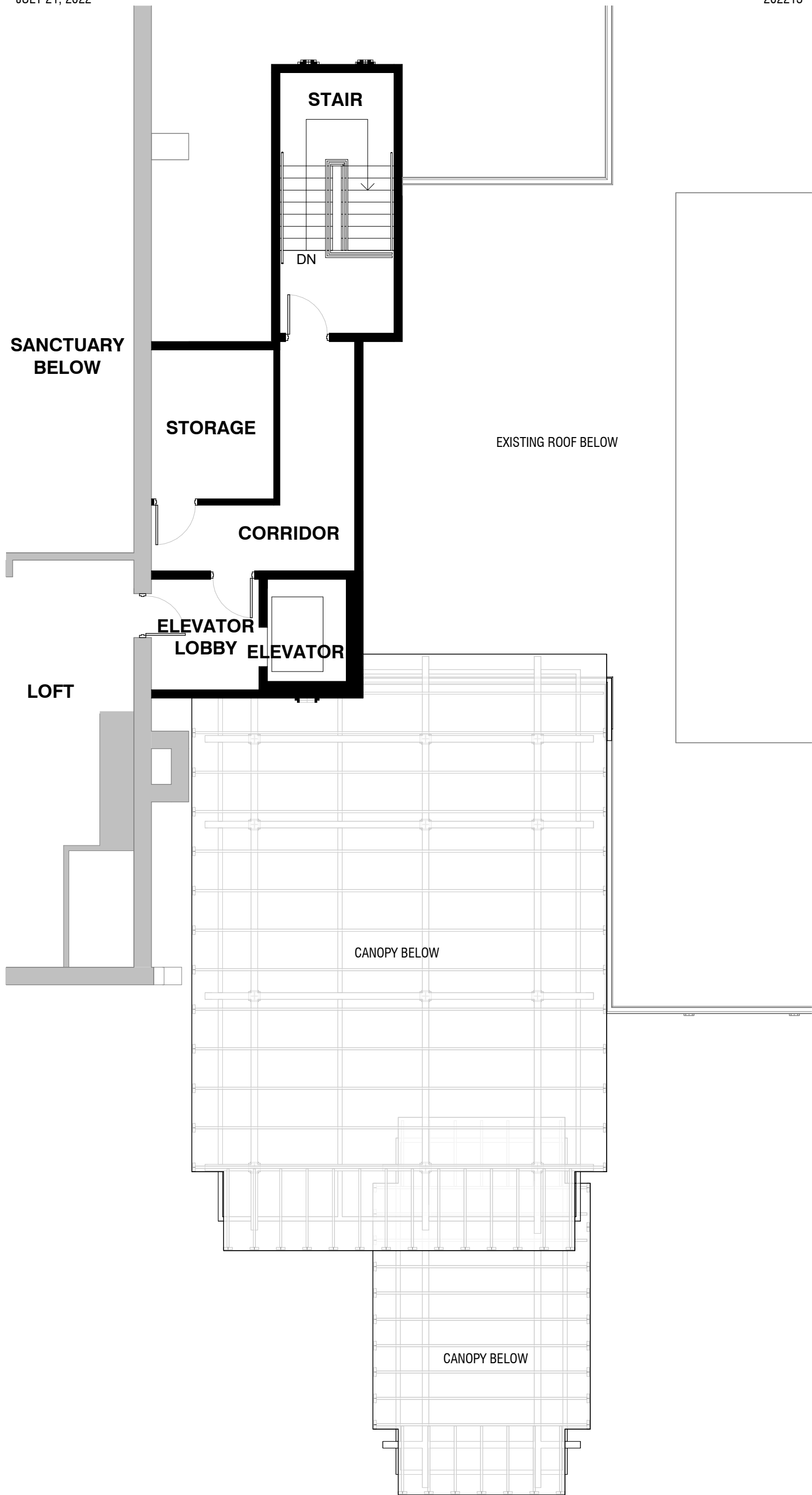
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PR4-1

PROPOSED FIRST FLOOR PLAN - OPTION #4

1/8" = 1'-0"

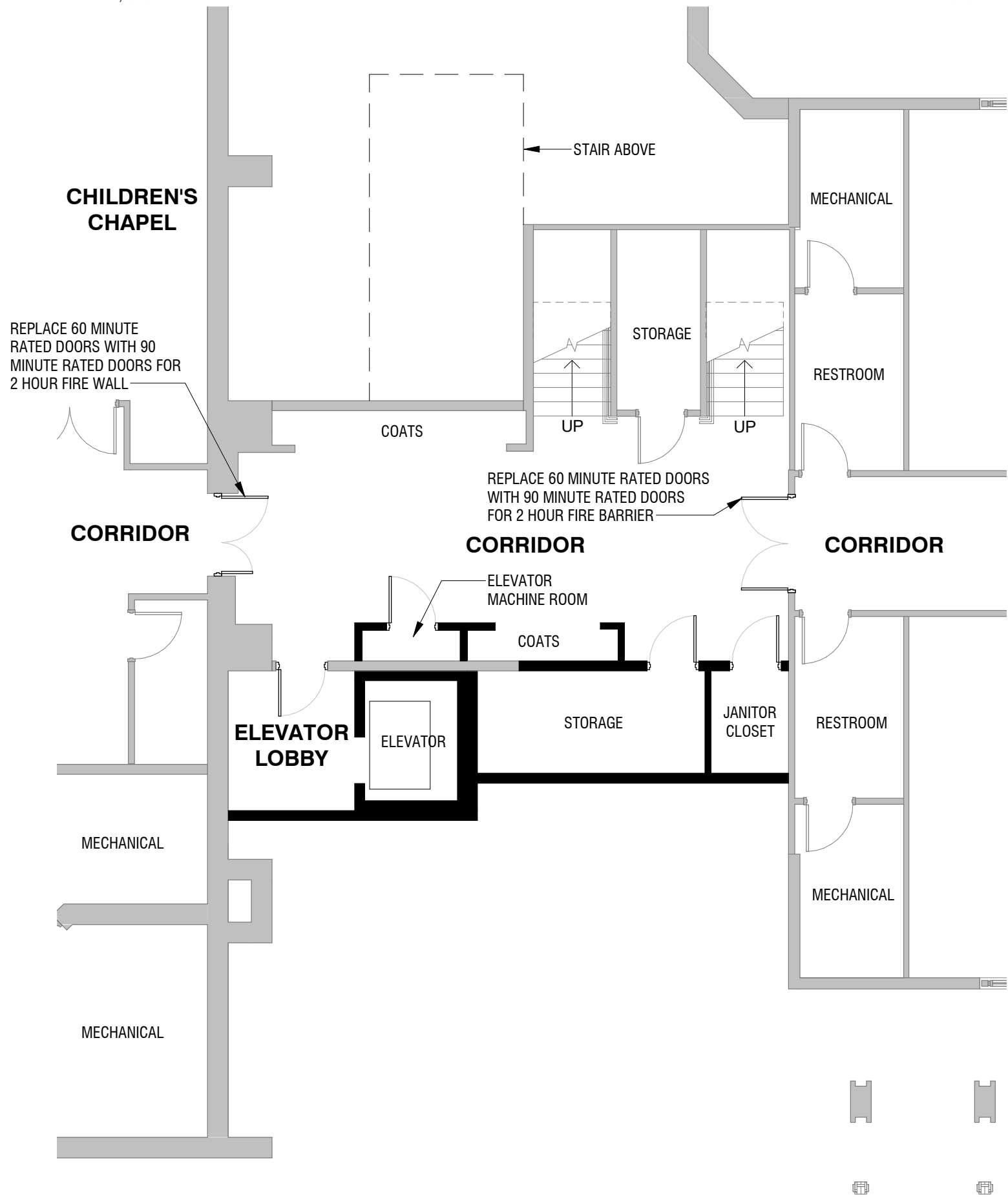


**REIFSTECK
REID**



PROPOSED SECOND FLOOR PLAN - OPTION #4

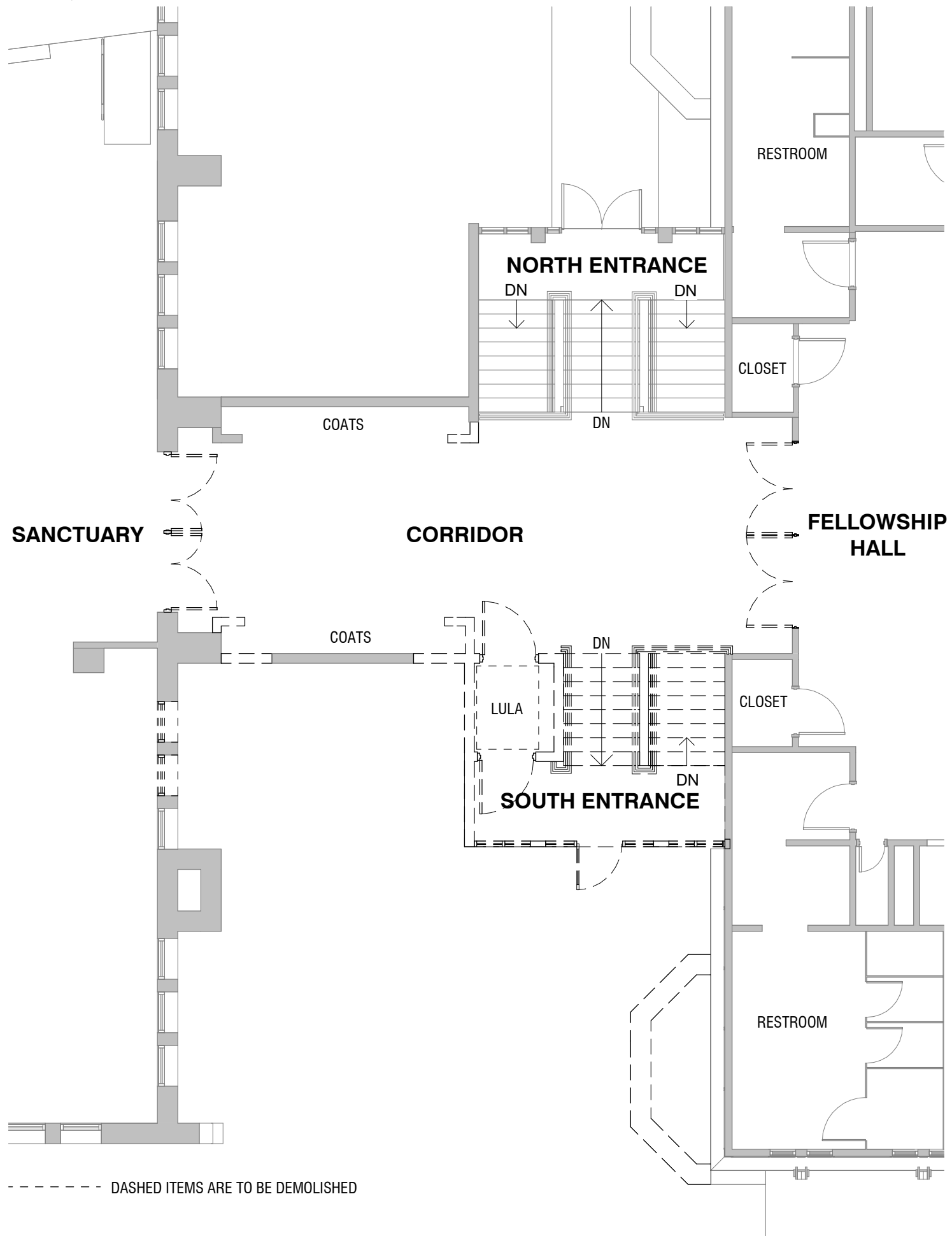
1/8" = 1'-0"



1
PR4-B

PROPOSED BASEMENT PLAN - OPTION #4

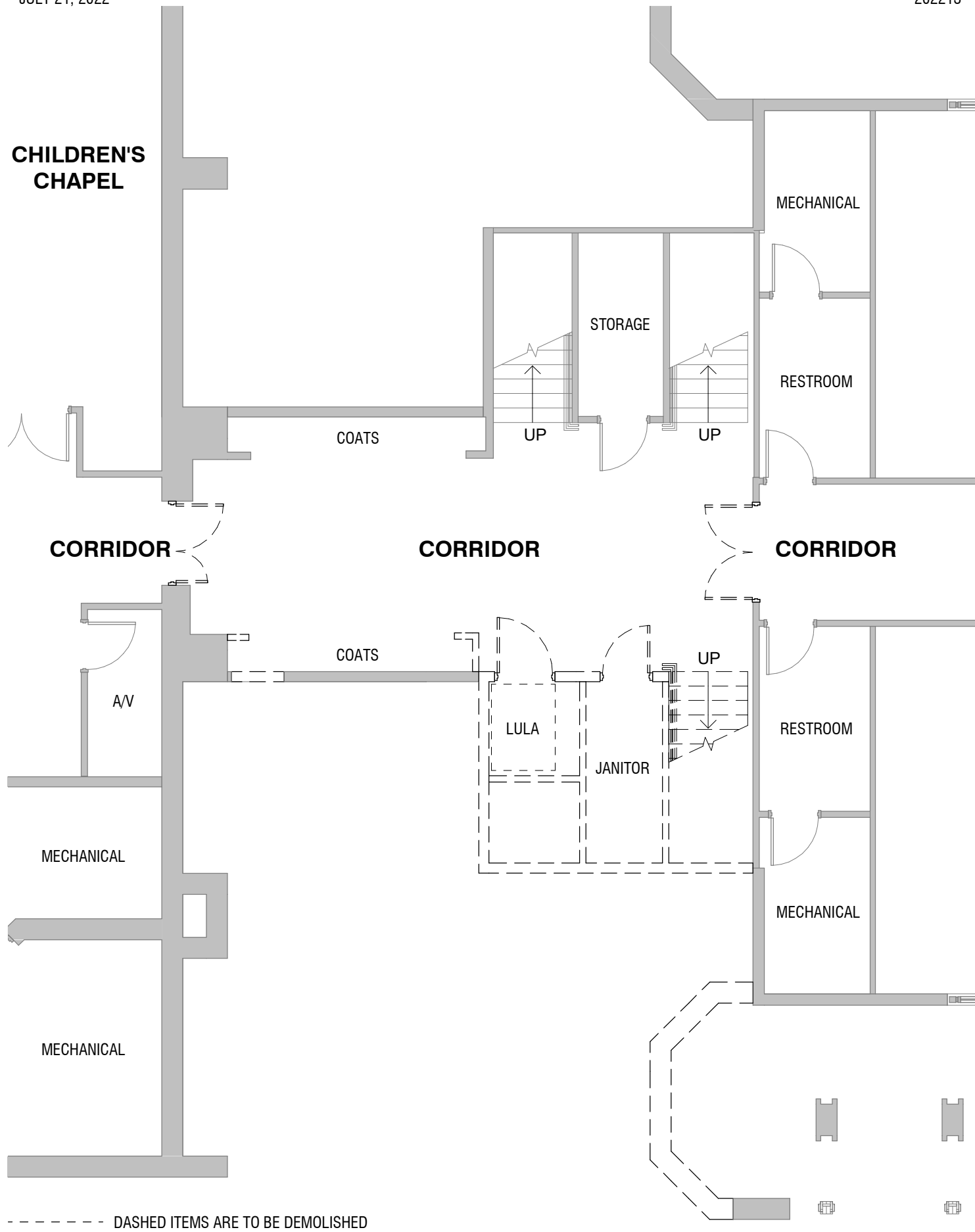
1/8" = 1'-0"



1
PR4-D1

PROPOSED FIRST FLOOR DEMOLITION PLAN - OPTION #4

1/8" = 1'-0"



1
PR4-DB

PROPOSED BASEMENT DEMOLITION PLAN - OPTION #4

1/8" = 1'-0"

OPTION #4 RENDERINGS

Main Entry looking North-East

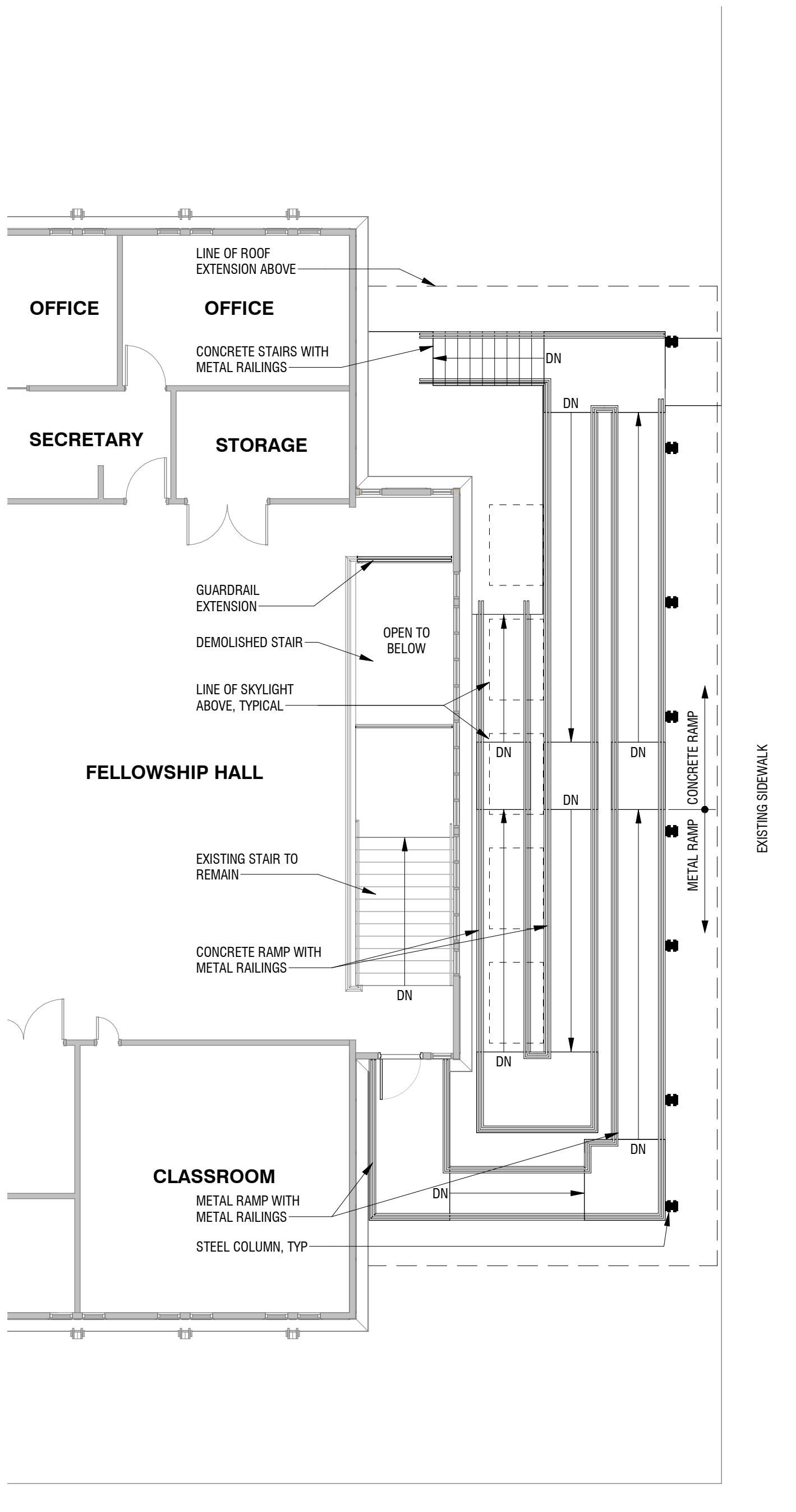


Main Entry looking North-West



North Entry looking South

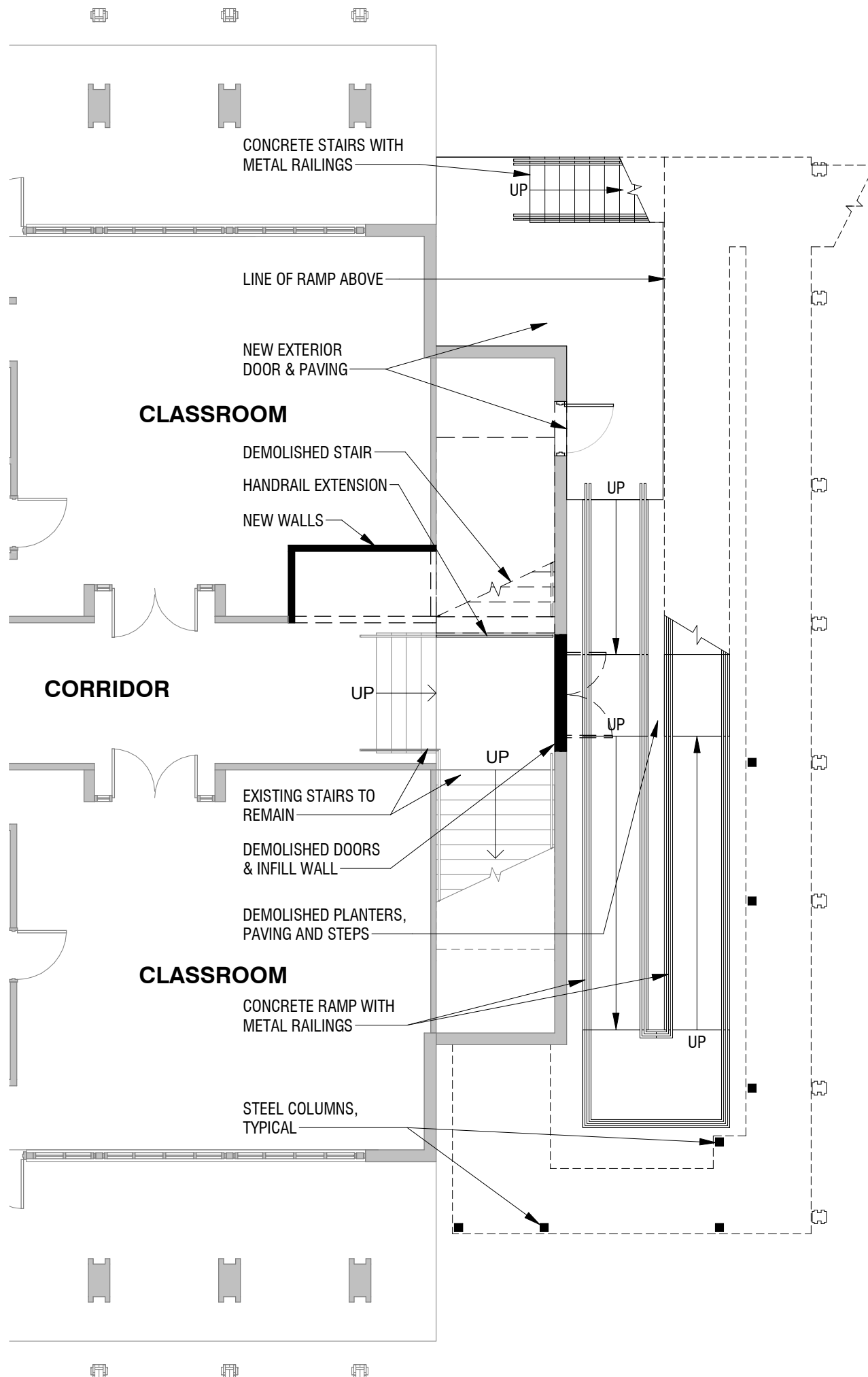




1
PR5-1

PROPOSED FIRST FLOOR PLAN - EAST RAMP

1/8" = 1'-0"



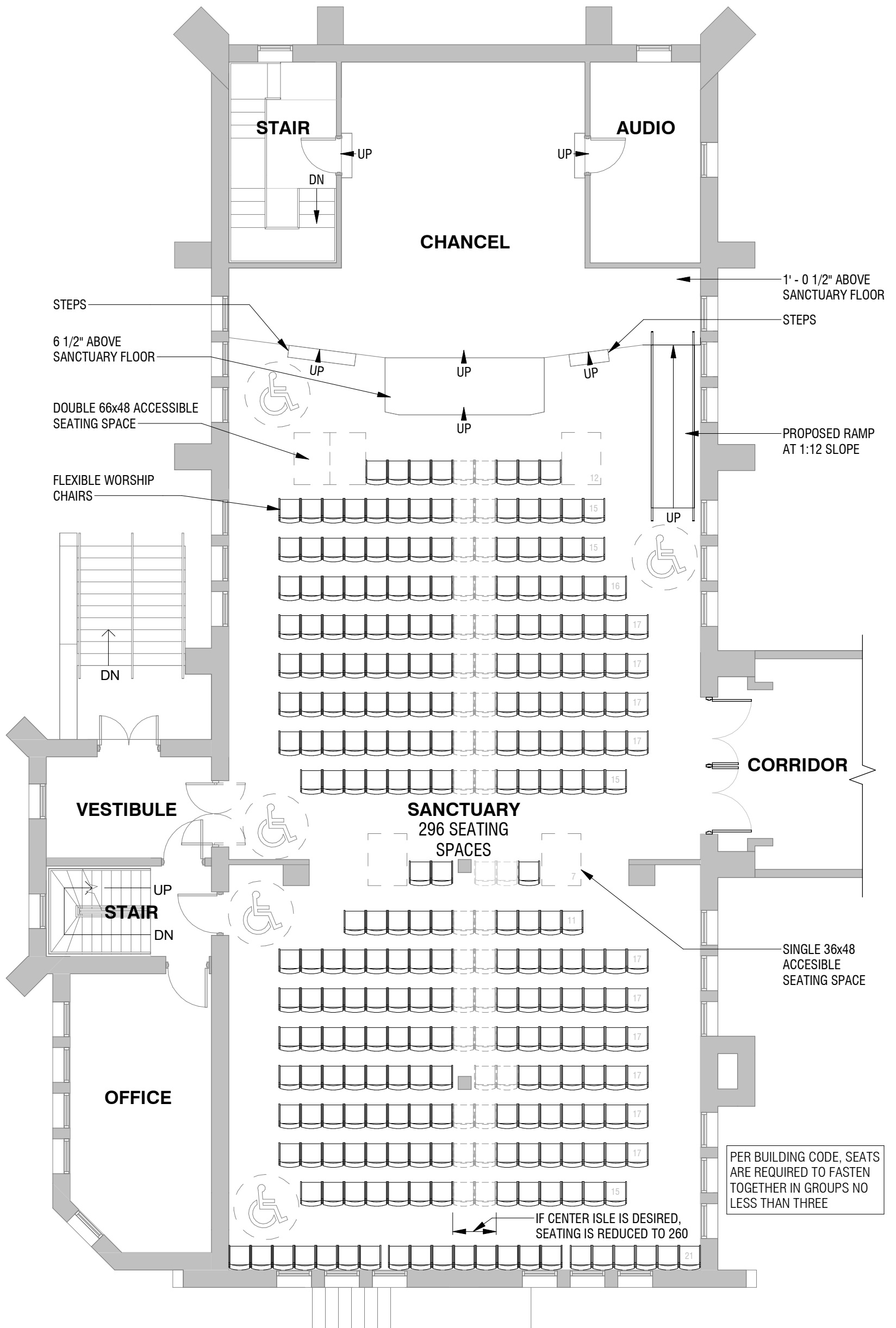
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PR5-B

PROPOSED BASEMENT PLAN - EAST RAMP

1/8" = 1'-0"

EAST RAMP RENDERINGS

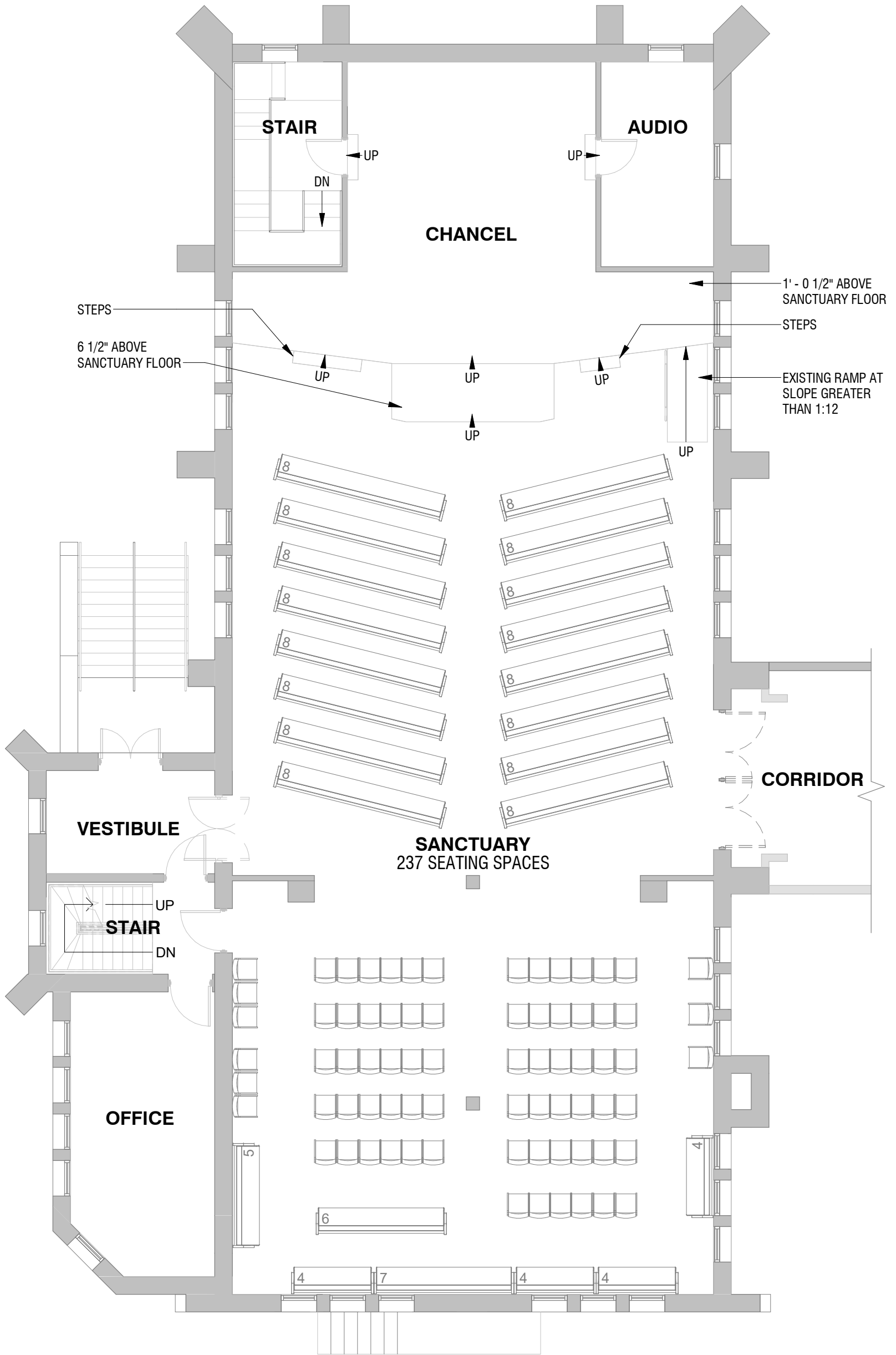




1
PR6-1

FIRST FLOOR - PROPOSED SANCTUARY SEATING LAYOUT

1/8" = 1'-0"



1
PR6-E

FIRST FLOOR - EXISTING SANCTUARY SEATING

1/8" = 1'-0"

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades
 PHASE: Accessibility Upgrades Study DATE: July 21st, 2022



Summary - Option #1 (Ramps to First Floor & Basement with Elevator & Stair)

Pricing Item	Total
1. Option #1 - Main Building, Elevator, and Stair	\$1,323,000
2. Option #1 - Main Entry, Ramp with Canopy	\$416,000
3. Option #1 - Main Entry Canopy	\$270,000
4. East Ramp and Roof Extension	\$927,000
6. Parking Lot	\$163,000

ESTIMATE OF PROBABLE CONSTRUCTION COST, TOTAL (PRICING ITEMS 1-4 & 6) \$3,099,000

Summary - Option #2 (No Ramps, Elevator Access Only with Stair)

Pricing Item	Total
1. Option #1 - Main Building, Elevator, and Stair (Similar)	\$1,323,000
3. Option #1 - Main Entry Canopy (Similar)	\$270,000
6. Parking Lot	\$163,000

ESTIMATE OF PROBABLE CONSTRUCTION COST, TOTAL (PRICING ITEMS 1, 3, & 6) \$1,756,000

Summary - Option #3 (Ramps to First Floor & Basement with Elevator & Stair)

Pricing Item	Total
1. Option #1 - Main Building, Elevator, and Stair (Similar)	\$1,323,000
3. Option #1 - Main Entry Canopy (Similar)	\$270,000
4. East Ramp and Roof Extension	\$1,025,000
6. Parking Lot	\$163,000

ESTIMATE OF PROBABLE CONSTRUCTION COST, TOTAL (PRICING ITEMS 1, 3-4, & 6) \$2,781,000

Summary - Option #4 (Ramps to First Floor with Elevator & Stair)

Pricing Item	Total
1. Option #1 - Main Building, Elevator, and Stair (Similar)	\$1,323,000
5. Option #4 - Main Entry, Ramp, & Canopies	\$1,025,000
6. Parking Lot	\$163,000

ESTIMATE OF PROBABLE CONSTRUCTION COST, TOTAL (PRICING ITEMS 1, 5, & 6) \$2,511,000

GENERAL NOTES

1. Costs do not include asbestos investigation, sampling or abatement.
2. A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.
3. General Division Work includes fire protection.
4. All divisions of work include a cost escalation for 1 year at 5% per year.
5. This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 1: Option #1 - Main Building, Elevator, and Stair (Options #2, 3, & 4 Similar)

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PROGRESS CONSTR. CLEANING	1	LS	\$3,500.00	\$3,500
FINAL CONSTR. CLEANING	1	AL	\$1,500.00	\$1,500
MOBILIZATION	1	LS	\$8,000.00	\$8,000
DUST BARRIERS & PROTECTION: CORRIDOR	1	LS	\$1,000.00	\$1,000
DISPOSAL	55	CY	\$40.00	\$2,200
				\$16,200

EXISTING CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
EXCAVATION FOR FOOTINGS	50	SY	\$40.00	\$2,000
DEMO INTERIOR WALLS	200	SF	\$2.00	\$400
DEMO WINDOWS	4	EA	\$100.00	\$400
DEMO ROOFING & ROOF STRUCTURE	325	SF	\$15.00	\$4,875
MISC. DEMO	1	LS	\$5,000.00	\$5,000
DEMO LULA	1	LS	\$1,000.00	\$1,000
DEMO EXTERIOR WALL FOR DOOR OPENINGS	66	SF	\$5.00	\$330
REMOVE DOOR & FRAME	1	EA	\$75.00	\$75
				\$14,080

CONCRETE

Item Description	Quantity	Unit	Cost/Unit	Total
CONCRETE FOOTINGS/FOUNDATIONS	158	LF	\$309.00	\$48,822
BELOW GRADE RIGID INSULATION & DAMPPROOFING	474	SF	\$5.00	\$2,370
SLAB ON GRADE	495	SF	\$10.00	\$4,950
PATCHING OF EXISTING SLABS	1	LS	\$1,500.00	\$1,500
CONCRETE ON METAL DECK	703	SF	\$15.00	\$10,545
				\$68,187

METALS

Item Description	Quantity	Unit	Cost/Unit	Total
FLOOR FRAMING, STEEL JOISTS (14K3)	104	LF	\$27.00	\$2,808
SECOND FLOOR BEAMS (W18x50)	36	LF	\$181.00	\$6,516
ROOF FRAMING, STEEL JOISTS (14K3)	95	LF	\$27.00	\$2,565
MISC. FRAMING	1	LS	\$10,000.00	\$10,000
CONCRETE FILLED STEEL PAN STAIR	27	R	\$1,320.00	\$35,640
				\$57,529

WOODS, PLASTICS & COMPOSITES

Item Description	Quantity	Unit	Cost/Unit	Total
CANOPY EDGE TRIM	159	LF	\$80.00	\$12,720
DECORATIVE TRIMWORK ON ELEVATOR EXTERIOR	1	LS	\$1,800.00	\$1,800
				\$14,520

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 1: Option #1 - Main Building, Elevator, and Stair (Options #2, 3, & 4 Similar)

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



ASSEMBLIES - WALLS

Item Description	Quantity	Unit	Cost/Unit	Total
INTERIOR WALL: 8" CMU	665	SF	\$25.00	\$16,625
INTERIOR WALL: 3 5/8" MTL STUDS W/ 5/8" GWB & RB BASE EACH SIDE	477	SF	\$9.50	\$4,532
WALL INFILL AT DEMO-ED WINDOWS	100	SF	\$8.25	\$825
LINTELS & FLASHING	11	LF	\$400.00	\$4,400
EXTERIOR WALL: BRICK, 2" RIGID, CMU, 3 5/8" WD STUD, 5/8" GWB, & BASE	2,010	SF	\$64.00	\$128,640
				\$155,022

ASSEMBLIES - ROOFS

Item Description	Quantity	Unit	Cost/Unit	Total
ROOF COVERING- SINGLE PLY MEMBRANE, RIGID INSULATION, & SHEATHING ON METAL DECK	803	SF	\$36.00	\$28,908
TIE INTO EXISTING SANCTUARY ROOF	1	LS	\$8,000.00	\$8,000
METAL GUTTER	167	LF	\$13.50	\$2,255
METAL DOWNSPOUTS	112	LF	\$14.50	\$1,624
ROOF EXPANSION JOINT	88	LF	\$22.00	\$1,936
				\$42,723

OPENINGS

Item Description	Quantity	Unit	Cost/Unit	Total
INTR HM DOOR & FRAME w/ HDWR	7	EA	\$1,800.00	\$12,600
INTR HM DOOR & FRAME w/ HDWR, 90 MIN	12	EA	\$4,000.00	\$48,000
EXTR HM DOOR & FRAME w/ HDWR	2	EA	\$2,500.00	\$5,000
CHANGE DOOR HARDWARE AT SOUTH LULA DOOR	1	EA	\$500.00	\$500
DECORATIVE WINDOW @ STAIR	1	EA	\$5,000.00	\$5,000
				\$71,100

FINISHES

Item Description	Quantity	Unit	Cost/Unit	Total
WALL: RUBBER BASE	25	LF	\$4.00	\$100
CEILING - GWB	876	SF	\$9.00	\$7,884
FLOORING: LVT	1,511	SF	\$9.00	\$13,599
MOISTURE MITIGATION	495	SF	\$7.00	\$3,465
MISC PATCHING - WALL	1	LS	\$1,000.00	\$1,000
MISC PATCHING - CEILINGS	1	LS	\$250.00	\$250
PAINT - CEILINGS	876	SF	\$5.00	\$4,380
PAINT - WALLS	4,294	SF	\$3.00	\$12,882
PAINT - MISC	1	LS	\$500.00	\$500
				\$44,060

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 1: Option #1 - Main Building, Elevator, and Stair (Options #2, 3, & 4 Similar)

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



SPECIALTIES

Item Description	Quantity	Unit	Cost/Unit	Total
SIGNAGE	1	EA	\$75.00	\$75
MISC SHELVING & COAT RODS	1	LS	\$1,000.00	\$1,000
				\$1,075

EQUIPMENT

Item Description	Quantity	Unit	Cost/Unit	Total
HYDRAULIC ELEVATOR	1	EA	\$171,625.00	\$171,625
				\$171,625
GENERAL WORK SUBTOTAL				\$656,120
20%	CONTINGENCY			\$131,224

GENERAL TOTAL \$787,344

CONSULTANTS

MECHANICAL/ELECTRICAL/PLUMBING

Item Description	Quantity	Unit	Cost/Unit	Total
FIRE PROTECTION	0	LS	\$0.00	\$0
PLUMBING & HVAC	1	LS	\$70,400.00	\$70,400
ELECTRICAL	1	LS	\$80,300.00	\$80,300
MEP WORK SUBTOTAL				\$150,700
20%	CONTINGENCY			\$30,140
2%	GC COORDINATION ON MEP			\$3,617

OTHER CONSULTANTS

Item Description	Quantity	Unit	Cost/Unit	Total
CIVIL	0	LS	\$0.00	\$0
STRUCTURAL	0	LS	\$0.00	\$0
ASBESTOS	0	LS	\$0.00	\$0
OTHER CONSULTANTS SUBTOTAL				\$0
20%	CONTINGENCY			\$0

CONSULTANTS TOTAL \$184,457

WORK SUBTOTAL			\$971,801
7 MONTHS SUPERVISION	PART TIME		\$52,500
10%	G. CONTRACTOR - OVERHEAD AND PROFIT		\$97,180
2.5%	G. CONTRACTOR - BONDS & INS.		\$24,295
SUBTOTAL			\$1,145,776
5%	BID CONTINGENCY		\$57,289
10%	CONSTRUCTION CONTINGENCY		\$120,306

ESTIMATE OF PROBABLE CONSTRUCTION COST

\$1,323,371

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 1: Option #1 - Main Building, Elevator, and Stair (Options #2, 3, & 4 Similar)

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL NOTES

1. Costs do not include asbestos investigation, sampling or abatement.
2. A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.
3. General Division Work includes fire protection.
4. All divisions of work include a cost escalation for 1 year at 5% per year.
5. This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 2: Option #1 - Main Entry, Ramp with Canopy

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PROGRESS CONSTR. CLEANING	1	LS	\$1,500.00	\$1,500
FINAL CONSTR. CLEANING	1	AL	\$500.00	\$500
MOBILIZATION	1	LS	\$2,000.00	\$2,000
DUST BARRIERS & PROTECTION: CORRIDOR	1	LS	\$75.00	\$75
DISPOSAL	15	CY	\$40.00	\$600
				\$4,675

EXISTING CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
EXCAVATION FOR FOOTINGS	31	SY	\$40.00	\$1,259
DEMO PAVING FOR FOOTINGS	900	SF	\$3.50	\$3,150
				\$4,409

CONCRETE

Item Description	Quantity	Unit	Cost/Unit	Total
CAST IN PLACE CONCRETE COLUMN FOOTINGS/FOUNDATIONS	13	EA	\$750.00	\$9,750
CONCRETE PAVING INFILL	1	LS	\$1,000.00	\$1,000
COMPACTED GRANULAR FILL	9	SY	\$60.00	\$517
CONCRETE STEPS	44	LFN	\$66.00	\$2,904
CONCRETE FOOTINGS/FOUNDATIONS FOR STAIRS AND LANDINGS	92	LF	\$210.00	\$19,320
CONCRETE LANDINGS	310	SF	\$23.00	\$7,130
CONCRETE RAMP W/ RAILINGS	74	LF	\$1,163.00	\$86,062
				\$126,683

METALS

Item Description	Quantity	Unit	Cost/Unit	Total
GUARDRAIL & HANDRAIL (@ LANDINGS & STAIRS)	83	LF	\$175.00	\$14,525
STEEL POSTS (HSS4x4) WITH P.T. WD TRIM	13	EA	\$1,800.00	\$23,400
STEEL BEAMS (W10x22)	212	LF	\$93.00	\$19,716
INTERMEDIATE FRAMING, STEEL JOISTS (10K1)	110	LF	\$27.00	\$2,970
MISC. FRAMING	1	LS	\$5,000.00	\$5,000
				\$51,086

WOODS, PLASTICS & COMPOSITES

Item Description	Quantity	Unit	Cost/Unit	Total
CANOPY EDGE TRIM	148	LF	\$80.00	\$11,840
				\$11,840

ASSEMBLIES - ROOFS

Item Description	Quantity	Unit	Cost/Unit	Total
MEMBRANE ROOF, SHEATHING, & METAL DECK	790	SF	\$32.00	\$25,280
DOWNSPOUTS	40	LF	\$15.00	\$600
METAL GUTTERS	31	LF	\$15.00	\$465
				\$26,345

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 2: Option #1 - Main Entry, Ramp with Canopy

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



FINISHES

Item Description	Quantity	Unit	Cost/Unit	Total
PAINT - STEEL (CEILING)	790	SF	\$6.00	\$4,740
PAINT - COLUMNS	13	EA	\$220.00	\$2,860
PAINT - ROOF EDGE TRIM	296	SF	\$8.00	\$2,368
PAINT - MISC	1	LS	\$500.00	\$500
				\$10,468
GENERAL WORK SUBTOTAL				\$235,506
20%	CONTINGENCY			\$47,101
GENERAL TOTAL				\$282,607

CONSULTANTS

MECHANICAL/ELECTRICAL/PLUMBING

Item Description	Quantity	Unit	Cost/Unit	Total
FIRE PROTECTION	0	LS	\$0.00	\$0
PLUMBING & HVAC	1	LS	\$4,300.00	\$4,300
ELECTRICAL	1	LS	\$17,300.00	\$17,300
MEP WORK SUBTOTAL				\$21,600
20%	CONTINGENCY			\$4,320
2%	GC COORDINATION ON MEP			\$518

OTHER CONSULTANTS

Item Description	Quantity	Unit	Cost/Unit	Total
CIVIL	0	LS	\$0.00	\$0
STRUCTURAL	0	LS	\$0.00	\$0
ASBESTOS	0	LS	\$0.00	\$0
OTHER CONSULTANTS SUBTOTAL				\$0
20%	CONTINGENCY			\$0
CONSULTANTS TOTAL				\$26,438

WORK SUBTOTAL		\$309,046
4 MONTHS SUPERVISION	PART TIME	\$30,000
10%	G. CONTRACTOR - OVERHEAD AND PROFIT	\$30,905
2.5%	G. CONTRACTOR - BONDS & INS.	\$7,726
SUBTOTAL		\$377,676
5%	BID CONTINGENCY	\$18,884
5%	CONSTRUCTION CONTINGENCY	\$19,828

ESTIMATE OF PROBABLE CONSTRUCTION COST

\$416,388

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 2: Option #1 - Main Entry, Ramp with Canopy

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL NOTES

1. Costs do not include asbestos investigation, sampling or abatement.
2. A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.
3. General Division Work includes fire protection.
4. All divisions of work include a cost escalation for 1 year at 5% per year.
5. This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 3: Option #1 - Main Entry Canopy (Options #2 & 3 Similar)

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PROGRESS CONSTR. CLEANING	1	LS	\$1,500.00	\$1,500
FINAL CONSTR. CLEANING	1	AL	\$500.00	\$500
MOBILIZATION	1	LS	\$2,000.00	\$2,000
DUST BARRIERS & PROTECTION: FENCE	1	LS	\$200.00	\$200
DISPOSAL	20	CY	\$40.00	\$800
				\$5,000

EXISTING CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
EXCAVATION FOR FOOTINGS	24	SY	\$40.00	\$960
DEMO MISC.	1	LS	\$1,000.00	\$1,000
DEMO PAVING FOR FOOTINGS	288	SF	\$4.50	\$1,296
DEMO ROOF TRIM	21	LF	\$9.00	\$189
				\$3,445

CONCRETE

Item Description	Quantity	Unit	Cost/Unit	Total
CAST IN PLACE CONCRETE COLUMN FOOTINGS/FOUNDATIONS	8	EA	\$800.00	\$6,400
CONCRETE PAVING INFILL	288	SF	\$12.00	\$3,456
				\$9,856

METALS

Item Description	Quantity	Unit	Cost/Unit	Total
STEEL POSTS (HSS6x6) WITH P.T. WD TRIM	8	EA	\$2,400.00	\$19,200
STEEL BEAMS (W12x35)	186	LF	\$129.00	\$23,994
INTERMEDIATE FRAMING, STEEL JOISTS (10K1)	77	LF	\$27.00	\$2,079
STEEL CHANNEL (C12X27) @ PERIMETER	227	LF	\$120.00	\$27,240
				\$72,513

WOODS, PLASTICS & COMPOSITES

Item Description	Quantity	Unit	Cost/Unit	Total
CANOPY EDGE TRIM	104	LF	\$80.00	\$8,320
				\$8,320

ROOFING

Item Description	Quantity	Unit	Cost/Unit	Total
MEMBRANE ROOF, SHEATHING, & METAL DECK	1,120	SF	\$32.00	\$35,840
DOWNSPOUTS	50	LF	\$15.00	\$750
METAL GUTTERS	104	LF	\$15.00	\$1,560
				\$38,150

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 3: Option #1 - Main Entry Canopy (Options #2 & 3 Similar)

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



FINISHES

Item Description	Quantity	Unit	Cost/Unit	Total
PAINT - STEEL (CEILING)	1,120	SF	\$6.00	\$6,720
PAINT - COLUMNS	8	EA	\$250.00	\$2,000
PAINT - ROOF EDGE TRIM	208	SF	\$8.00	\$1,664
PAINT - MISC	1	LS	\$100.00	\$100
				\$10,484
GENERAL WORK SUBTOTAL				\$147,768
20% CONTINGENCY				\$29,554

GENERAL TOTAL \$177,322

CONSULTANTS

MECHANICAL/ELECTRICAL/PLUMBING

Item Description	Quantity	Unit	Cost/Unit	Total
FIRE PROTECTION	0	LS	\$0.00	\$0
PLUMBING & HVAC	0	LS	\$0.00	\$0
ELECTRICAL	1	LS	\$11,400.00	\$11,400
MEP WORK SUBTOTAL				\$11,400
20% CONTINGENCY				\$2,280
2% GC COORDINATION ON MEP				\$274

OTHER CONSULTANTS

Item Description	Quantity	Unit	Cost/Unit	Total
CIVIL	0	LS	\$0.00	\$0
STRUCTURAL	0	LS	\$0.00	\$0
ASBESTOS	0	LS	\$0.00	\$0
OTHER CONSULTANTS SUBTOTAL				\$0
20% CONTINGENCY				\$0

CONSULTANTS TOTAL \$13,954

WORK SUBTOTAL			\$191,275
4 MONTHS SUPERVISION	PART TIME		\$30,000
10%	G. CONTRACTOR - OVERHEAD AND PROFIT		\$19,128
2.5%	G. CONTRACTOR - BONDS & INS.		\$4,782
SUBTOTAL			\$245,185
5%	BID CONTINGENCY		\$12,259
5%	CONSTRUCTION CONTINGENCY		\$12,872

ESTIMATE OF PROBABLE CONSTRUCTION COST

\$270,316

GENERAL NOTES

- Costs do not include asbestos investigation, sampling or abatement.
- A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.
- General Division Work includes fire protection.
- All divisions of work include a cost escalation for 1 year at 5% per year.
- This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 4: East Ramp and Roof Extension

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PROGRESS CONSTR. CLEANING	1	LS	\$3,000.00	\$3,000
FINAL CONSTR. CLEANING	1	AL	\$1,000.00	\$1,000
MOBILIZATION	1	LS	\$4,500.00	\$4,500
DUST BARRIERS & PROTECTION: CORRIDOR	1	LS	\$250.00	\$250
DISPOSAL	25	CY	\$40.00	\$1,000
				\$9,750

EXISTING CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
EXCAVATION FOR FOOTINGS	35	SY	\$40.00	\$1,400
DEMO PAVING	95	SF	\$3.50	\$333
DEMO CONCRETE STEPS	56	LF	\$8.00	\$448
DEMO PLANTERS	2	EA	\$250.00	\$500
DEMO DOOR & FRAME	2	EA	\$100.00	\$200
DEMO TREE	1	EA	\$400.00	\$400
DEMO PARTITIONS	131	SF	\$1.50	\$197
DEMO FLOORING	43	SF	\$0.75	\$32
DEMO ROOF TRIM	88	LF	\$10.00	\$880
DEMO EXTERIOR WALL FOR DOOR OPENINGS	22	SF	\$5.00	\$110
CLEAR BRUSH	1	LS	\$500.00	\$500
DEMO STAIRS	1	LS	\$500.00	\$500
				\$5,499

CONCRETE

Item Description	Quantity	Unit	Cost/Unit	Total
CAST IN PLACE CONCRETE COLUMN FOOTINGS/FOUNDATIONS	15	EA	\$800.00	\$12,000
CONCRETE PAVING	184	SF	\$12.00	\$2,208
COMPACTED GRANULAR FILL	15	SY	\$60.00	\$900
CONCRETE STEPS	40	LFN	\$66.00	\$2,640
CONCRETE FOOTINGS/FOUNDATIONS FOR STAIRS AND LANDINGS	97	LF	\$210.00	\$20,370
CONCRETE LANDINGS	156	SF	\$23.00	\$3,588
CONCRETE RAMP W/ RAILINGS	95	LF	\$1,163.00	\$109,904
				\$151,610

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 4: East Ramp and Roof Extension

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



METALS

Item Description	Quantity	Unit	Cost/Unit	Total
GUARDRAIL & HANDRAIL (@ LANDINGS & STAIRS)	81	LF	\$150.00	\$12,150
INTERIOR GUARDRAIL & HANDRAIL INFILL	14	LF	\$120.00	\$1,680
STEEL POSTS (HSS6x6) WITH P.T. WD TRIM	8	EA	\$2,400.00	\$19,200
STEEL POSTS (HSS4x4)	7	EA	\$1,000.00	\$7,000
RAMP FRAMING (C12x20.7)	123	LF	\$189.00	\$23,247
ALUMINUM GRATING	246	SF	\$60.00	\$14,760
MAIN STEEL BEAM (HSS8x20)	72	LF	\$286.00	\$20,592
INTERMEDIATE STEEL BEAMS (HSS6x14)	180	LF	\$201.00	\$36,180
INTERMEDIATE FRAMING, STEEL JOISTS (10K1)	390	LF	\$27.00	\$10,530
MISC. FRAMING	1	LS	\$20,000.00	\$20,000
				\$151,509

WOODS, PLASTICS & COMPOSITES

Item Description	Quantity	Unit	Cost/Unit	Total
CANOPY EDGE TRIM	126	LF	\$80.00	\$10,080
				\$10,080

ASSEMBLIES - WALLS

Item Description	Quantity	Unit	Cost/Unit	Total
INFILL EXTERIOR WALL AT DEMOLISHED DOORS, BRICK	50	SF	\$60.00	\$3,000
INTERIOR WALL: 3 5/8" MTL STUDS W/ 5/8" GWB & RB BASE EACH SIDE	131	SF	\$9.50	\$1,245
				\$4,245

ASSEMBLIES - ROOFS

Item Description	Quantity	Unit	Cost/Unit	Total
MEMBRANE ROOF, SHEATHING, & METAL DECK	1,364	SF	\$36.00	\$49,104
METAL SOFFIT	1,364	SF	\$22.00	\$30,008
DOWNSPOUTS	64	LF	\$15.00	\$960
METAL GUTTERS	122	LF	\$15.00	\$1,830
				\$81,902

OPENINGS

Item Description	Quantity	Unit	Cost/Unit	Total
EXTR HM DOOR & FRAME w/ HDWR	1	EA	\$2,500.00	\$2,500
SKYLIGHTS	5	EA	\$3,500.00	\$17,500
				\$20,000

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 4: East Ramp and Roof Extension

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



FINISHES

Item Description	Quantity	Unit	Cost/Unit	Total
PAINT - COLUMNS WITH TRIM	8	EA	\$220.00	\$1,760
PAINT - COLUMNS	7	EA	\$100.00	\$700
PAINT - BEAMS	375	LF	\$9.00	\$3,375
PAINT - ROOF EDGE TRIM	252	SF	\$8.00	\$2,016
CEILING - SUSPENDED TILES	206	SF	\$7.00	\$1,442
FLOORING: VCT	206	SF	\$5.00	\$1,030
MISC PATCHING - WALL	1	LS	\$500.00	\$500
PAINT - MISC	1	LS	\$200.00	\$200
				\$11,047
GENERAL WORK SUBTOTAL				\$445,641
20%	CONTINGENCY			\$89,128

GENERAL TOTAL \$534,770

CONSULTANTS

MECHANICAL/ELECTRICAL/PLUMBING

Item Description	Quantity	Unit	Cost/Unit	Total
FIRE PROTECTION	1	LS	\$110,000.00	\$110,000
PLUMBING & HVAC	0	LS	\$0.00	\$0
ELECTRICAL	1	LS	\$11,400.00	\$11,400
MEP WORK SUBTOTAL				\$121,400
20%	CONTINGENCY			\$24,280
2%	GC COORDINATION ON MEP			\$2,914

OTHER CONSULTANTS

Item Description	Quantity	Unit	Cost/Unit	Total
CIVIL (LANDSCAPING/GRADING/SEEDING)	1	LS	\$20,000.00	\$20,000
STRUCTURAL	0	LS	\$0.00	\$0
ASBESTOS	0	LS	\$0.00	\$0
OTHER CONSULTANTS SUBTOTAL				\$20,000
20%	CONTINGENCY			\$4,000

CONSULTANTS TOTAL \$172,594

WORK SUBTOTAL		\$707,363
6 MONTHS SUPERVISION	PART TIME	\$45,000
10%	G. CONTRACTOR - OVERHEAD AND PROFIT	\$70,736
2.5%	G. CONTRACTOR - BONDS & INS.	\$17,684
SUBTOTAL		\$840,783
5%	BID CONTINGENCY	\$42,039
5%	CONSTRUCTION CONTINGENCY	\$44,141

ESTIMATE OF PROBABLE CONSTRUCTION COST

\$926,964

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 4: East Ramp and Roof Extension

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL NOTES

1. *Costs do not include asbestos investigation, sampling or abatement.*
2. *A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.*
3. *General Division Work includes fire protection.*
4. *All divisions of work include a cost escalation for 1 year at 5% per year.*
5. *This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.*

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 5: Option #4 - Main Entry, Ramp, & Canopies

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PROGRESS CONSTR. CLEANING	1	LS	\$3,000.00	\$3,000
FINAL CONSTR. CLEANING	1	AL	\$1,000.00	\$1,000
MOBILIZATION	1	LS	\$6,000.00	\$6,000
DUST BARRIERS & PROTECTION: CORRIDOR	1	LS	\$500.00	\$500
DISPOSAL	25	CY	\$40.00	\$1,000
				\$11,500

EXISTING CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
DEMO SLAB ON GRADE	102	SF	\$2.50	\$255
EXCAVATION FOR FOOTINGS	20	SY	\$40.00	\$800
DEMO PAVING	631	SF	\$3.50	\$2,209
DEMO INTERIOR STAIRS	2	EA	\$400.00	\$800
DEMO DOOR & FRAME	2	EA	\$100.00	\$200
DEMO ROOF & STRUCTURE	218	EA	\$15.00	\$3,270
DEMO PARTITIONS	526	SF	\$1.50	\$789
DEMO STOREFRONT/DOOR	219	SF	\$5.00	\$1,095
DEMO EXTERIOR WALL	232	SF	\$6.00	\$1,392
DEMO DOOR & FRAME	3	EA	\$75.00	\$225
				\$11,035

CONCRETE

Item Description	Quantity	Unit	Cost/Unit	Total
CAST IN PLACE CONCRETE COLUMN FOOTINGS/FOUNDATIONS	16	EA	\$800.00	\$12,800
CONCRETE FOOTINGS/FOUNDATIONS	20	LF	\$395.00	\$7,900
CONCRETE SLAB-ON-GRADE	153	SF	\$10.00	\$1,530
CONCRETE PAVING	546	SF	\$12.00	\$6,552
COMPACTED GRANULAR FILL	190	SY	\$60.00	\$11,380
CONCRETE STEPS	502	LFN	\$66.00	\$33,099
CONCRETE FOOTINGS/FOUNDATIONS FOR STAIRS, RAMPS, AND LANDINGS	427	LF	\$210.00	\$89,670
CONCRETE LANDINGS	643	SF	\$23.00	\$14,789
CONCRETE PLANTER WALLS	15	LF	\$200.00	\$3,000
				\$180,720

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 5: Option #4 - Main Entry, Ramp, & Canopies

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



METALS

Item Description	Quantity	Unit	Cost/Unit	Total
HANDRAIL	59	LF	\$60.00	\$3,540
STEEL POSTS (HSS6x6) WITH P.T. WD TRIM	14	EA	\$2,400.00	\$33,600
STEEL POSTS (HSS6x6)	2	EA	\$800.00	\$1,600
FIRST FLOOR BEAM (W18x50)	20	LF	\$181.00	\$3,620
ROOF BEAMS (W14x30)	40	LF	\$112.00	\$4,480
INTERMEDIATE ROOF FRAMING, STEEL JOISTS (10K1)	21	LF	\$27.00	\$567
MAIN CANPOY STEEL BEAMS (HSS6x14)	332	LF	\$201.00	\$66,732
INTERMEDIATE CANOPY STEEL BEAMS (HSS4x10)	239	LF	\$137.00	\$32,675
ALUMINUM CANOPY GLAZING SUPPORT MEMBERS (2x6)	872	LF	\$82.00	\$71,504
MISC. FRAMING	1	LS	\$18,000.00	\$18,000
				\$232,778

WOODS, PLASTICS & COMPOSITES

Item Description	Quantity	Unit	Cost/Unit	Total
CANOPY EDGE TRIM	20	LF	\$80.00	\$1,600
				\$1,600

ASSEMBLIES - FLOORS

Item Description	Quantity	Unit	Cost/Unit	Total
CONCRETE ON METAL DECK	153	SF	\$15.00	\$2,295
				\$2,295

ASSEMBLIES - WALLS

Item Description	Quantity	Unit	Cost/Unit	Total
INTERIOR WALL: 3 5/8" MTL STUDS W/ 5/8" GWB & RB BASE EACH SIDE	223	SF	\$9.50	\$2,119
				\$2,119

ASSEMBLIES - ROOFS

Item Description	Quantity	Unit	Cost/Unit	Total
MEMBRANE ROOF, SHEATHING, INSUL, & METAL DECK	160	SF	\$36.00	\$5,760
TRANSLUCENT POLYCARBONATE	1,829	SF	\$50.00	\$91,450
DOWNSPOUTS	20	LF	\$15.00	\$300
METAL GUTTERS	20	LF	\$15.00	\$300
				\$97,810

OPENINGS

Item Description	Quantity	Unit	Cost/Unit	Total
INTR HM DOOR & FRAME w/ HDWR	2	EA	\$1,800.00	\$3,600
ALUMINUM & GLASS ENTRY DOORS, FRAME, & HDWR	2	PR	\$4,150.00	\$8,300
AUTOMATIC DOOR OPENER	2	EA	\$9,000.00	\$18,000
STOREFRONT	297	SF	\$65.00	\$19,305
				\$49,205

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 5: Option #4 - Main Entry, Ramp, & Canopies

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



FINISHES

Item Description	Quantity	Unit	Cost/Unit	Total
PAINT - COLUMNS WITH TRIM	14	EA	\$220.00	\$3,080
PAINT - COLUMNS	2	EA	\$100.00	\$200
PAINT - BEAMS	571	LF	\$8.00	\$4,564
PAINT - ROOF EDGE TRIM	40	SF	\$8.00	\$320
CEILING - SUSPENDED TILES	153	SF	\$7.00	\$1,071
FLOORING: VCT	153	SF	\$5.00	\$765
FLOORING: LVT	153	SF	\$9.00	\$1,377
MISC PATCHING - WALL	1	LS	\$200.00	\$200
PAINT - WALLS	646	SF	\$3.00	\$1,938
PAINT - MISC	1	LS	\$200.00	\$200
				\$13,715

SPECIALTIES

Item Description	Quantity	Unit	Cost/Unit	Total
SIGNAGE	2	EA	\$100.00	\$200
WINDOW COVERINGS	80	SF	\$15.00	\$1,200
				\$1,400

GENERAL WORK SUBTOTAL **\$604,176**

20% CONTINGENCY **\$120,835**

GENERAL TOTAL **\$725,011**

CONSULTANTS

MECHANICAL/ELECTRICAL/PLUMBING

Item Description	Quantity	Unit	Cost/Unit	Total
FIRE PROTECTION	0	LS	\$0.00	\$0
PLUMBING & HVAC	1	LS	\$5,000.00	\$5,000
ELECTRICAL	1	LS	\$14,400.00	\$14,400
MEP WORK SUBTOTAL				\$19,400
20% CONTINGENCY				\$3,880
2% GC COORDINATION ON MEP				\$466

OTHER CONSULTANTS

Item Description	Quantity	Unit	Cost/Unit	Total
CIVIL (LANDSCAPING/GRADING/SEEDING)	0	LS	\$0.00	\$0
STRUCTURAL	0	LS	\$0.00	\$0
ASBESTOS	0	LS	\$0.00	\$0
OTHER CONSULTANTS SUBTOTAL				\$0
20% CONTINGENCY				\$0

CONSULTANTS TOTAL **\$23,746**

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 5: Option #4 - Main Entry, Ramp, & Canopies

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



WORK SUBTOTAL		\$748,756
6 MONTHS SUPERVISION	PART TIME	\$45,000
10%	G. CONTRACTOR - OVERHEAD AND PROFIT	\$74,876
2.5%	G. CONTRACTOR - BONDS & INS.	\$18,719
SUBTOTAL		\$887,351
5%	BID CONTINGENCY	\$44,368
10%	CONSTRUCTION CONTINGENCY	\$93,172

ESTIMATE OF PROBABLE CONSTRUCTION COST

\$1,024,890

GENERAL NOTES

1. Costs do not include asbestos investigation, sampling or abatement.
2. A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.
3. General Division Work includes fire protection.
4. All divisions of work include a cost escalation for 1 year at 5% per year.
5. This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 6: Parking Lot

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



GENERAL CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PROGRESS CONSTR. CLEANING	1	LS	\$1,500.00	\$1,500
FINAL CONSTR. CLEANING	1	AL	\$500.00	\$500
MOBILIZATION	1	LS	\$1,500.00	\$1,500
DUST BARRIERS & PROTECTION: FENCE	1	LS	\$500.00	\$500
DISPOSAL	20	CY	\$40.00	\$800
				\$4,800

EXISTING CONDITIONS

Item Description	Quantity	Unit	Cost/Unit	Total
PREPARE LAND FOR PARKING PAVING (STRIP GRASS & TOP SOIL)	265	CY	\$5.00	\$1,326
DEMO TREE	1	EA	\$750.00	\$750
DEMO CITY TREE	1	EA	\$750.00	\$750
DEMO DRIVE OF OFF W. HIGH ST.	1	LS	\$1,500.00	\$1,500
DEMO MISC.	1	LS	\$2,000.00	\$2,000
				\$6,326

CONCRETE

Item Description	Quantity	Unit	Cost/Unit	Total
RESTRIPPING	969	LF	\$2.00	\$1,938
GRAVEL AND ASPHALT	6,500	SF	\$7.00	\$45,500
GRASS SEEDING	1,200	SF	\$1.00	\$1,200
CONCRETE CURB CUT FOR NEW DRIVE	1	LS	\$5,000.00	\$5,000
				\$53,638

SITE IMPROVEMENTS

Item Description	Quantity	Unit	Cost/Unit	Total
SHADE TREES (AS REQUIRED BY ZONING)	3	EA	\$600.00	\$1,800
REPLACE CITY TREE	1	EA	\$1,000.00	\$1,000
				\$2,800

GENERAL WORK SUBTOTAL **\$67,564**

20% CONTINGENCY **\$13,513**

GENERAL TOTAL \$81,077

CONSULTANTS

MECHANICAL/ELECTRICAL/PLUMBING

Item Description	Quantity	Unit	Cost/Unit	Total
FIRE PROTECTION	0	LS	\$0.00	\$0
PLUMBING & HVAC	0	LS	\$0.00	\$0
ELECTRICAL	1	LS	\$33,200.00	\$33,200
				MEP WORK SUBTOTAL \$33,200
				20% CONTINGENCY \$6,640
				2% GC COORDINATION ON MEP \$797

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT: Unitarian Universalist Church of Urbana-Champaign, Accessibility Upgrades

Pricing Item 6: Parking Lot

PHASE: Accessibility Upgrades Study

DATE: 7/21/2022



OTHER CONSULTANTS

Item Description	Quantity	Unit	Cost/Unit	Total
CIVIL	0	LS	\$0.00	\$0
STRUCTURAL	0	LS	\$0.00	\$0
ASBESTOS	0	LS	\$0.00	\$0
OTHER CONSULTANTS SUBTOTAL				\$0
20% CONTINGENCY				\$0

CONSULTANTS TOTAL \$40,637

WORK SUBTOTAL		\$121,714
(6 WEEKS) 2 MONTHS SUPERVISION	PART TIME	\$11,250
10%	G. CONTRACTOR - OVERHEAD AND PROFIT	\$12,171
2.5%	G. CONTRACTOR - BONDS & INS.	\$3,043
SUBTOTAL		\$148,178
5%	BID CONTINGENCY	\$7,409
5%	CONSTRUCTION CONTINGENCY	\$7,779

ESTIMATE OF PROBABLE CONSTRUCTION COST

\$163,366

GENERAL NOTES

1. Costs do not include asbestos investigation, sampling or abatement.
2. A/E design fees, A/V, FF&E, kitchen equipment & construction contingencies are not included in this opinion of probable cost.
3. General Division Work includes fire protection.
4. All divisions of work include a cost escalation for 1 year at 5% per year.
5. This cost opinion does not factor in a delayed start of project. A start of project within twelve to eighteen months can be accommodated by the Design Contingency, beyond that, the construction cost would increase approximately 5% per year.

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study
Opinion of Probable Cost - Plumbing and HVAC
Pricing Item 1: Option #1 - Main Building, Elevator and Stair

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tom Cullop

Trade:
 Division of Work: Division 23
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
Contractor Mobilization/Shop Drawings/Close-out Documents	1	Lot	\$0.00	\$0.00	\$1,250.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,250.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Sump Pump for Elevator Pit	1	Ea.	\$2,500.00	\$2,500.00	\$4,000.00	\$4,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$6,500.00
Mini-Split Cooling Unit to serve elevator equipment room (indoor evaporator, outdoor condensing unit) 23 81 26.10	1	Ea.	\$2,500.00	\$2,500.00	\$1,000.00	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$3,500.00
Furnace and AC to condition Corridor and Stairwell (Furnace, Condensing Unit, Ductwork and Insualtion, Testing & Balancing)	1	Ea.	\$17,000.00	\$17,000.00	\$14,000.00	\$14,000.00	\$0.00	\$0.00	\$4,000.00	\$4,000.00	\$35,000.00
Relocate gas meter on north side of building. Reroute gas piping. (Utility Company costs - if any - unknown) excludes site work.	1	Lot	\$500.00	\$500.00	\$3,000.00	\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$3,500.00
Reroute 2" Domestic Cold Water Service piping on north side of building. Excludes site work.	1	Lot	\$1,000.00	\$1,000.00	\$3,000.00	\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$4,000.00
Reroute 8" PVC Storm piping serving downspouts on north side of building. Excludes site work	1	Lot	\$500.00	\$500.00	\$3,000.00	\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$3,500.00
Reroute Domestic Hot Water Heater intake and vent on south side of building	1	Lot	\$250.00	\$250.00	\$1,000.00	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,250.00
Relocate heating system sensors on south side of building	1	Lot	\$150.00	\$150.00	\$500.00	\$500.00	\$0.00	\$0.00	\$0.00	\$0.00	\$650.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal			\$24,400.00		\$30,750.00		\$0.00		\$4,000.00	\$59,150.00
RS Means City Cost Indexes										
City Cost Index Based on Zip Code	61801	96.5%		106.8%		100.0%		100.0%		
Subtotal			\$23,546.00		\$32,841.00		\$0.00		\$4,000.00	\$60,387.00
Overhead & Profit		15.0%		15.0%		15.0%		5.0%		
Cost			\$3,531.90		\$4,926.15		\$0.00		\$200.00	\$8,658.05
Subtotal			\$27,077.90		\$37,767.15		\$0.00		\$4,200.00	\$69,045.05
Insurance & Bonds		2.0%								
Cost			\$541.56		\$755.34		\$0.00		\$84.00	\$1,380.90
Grand Total			\$27,619.46		\$38,522.49		\$0.00		\$4,284.00	\$70,425.95

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study
Opinion of Probable Cost - Plumbing and HVAC
Pricing Item 2: Option #1 - West Ramp and Canopy

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tom Cullop

Trade:
 Division of Work: Division 23
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
Contractor Mobilization/Shop Drawings/Close-out Documents (assumed included in Items #1)	1	Lot	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Relocate gas meter on south side of building. Reroute gas piping. (Utility Company costs - if any - unknown) excludes site work.	1	Lot	\$500.00	\$500.00	\$3,000.00	\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$3,500.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal			\$500.00		\$3,000.00		\$0.00		\$0.00	\$3,500.00
RS Means City Cost Indexes										
City Cost Index Based on Zip Code	61801	96.5%		106.8%		100.0%		100.0%		
Subtotal			\$482.50		\$3,204.00		\$0.00		\$0.00	\$3,686.50
Overhead & Profit		15.0%		15.0%		15.0%		5.0%		
Cost			\$72.38		\$480.60		\$0.00		\$0.00	\$552.98
Subtotal			\$554.88		\$3,684.60		\$0.00		\$0.00	\$4,239.48
Insurance & Bonds		2.0%								
Cost			\$11.10		\$73.69		\$0.00		\$0.00	\$84.79
Grand Total			\$565.97		\$3,758.29		\$0.00		\$0.00	\$4,324.26

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study

Opinion of Probable Cost - Electrical

Pricing Item 1: Option #1 - Main Building, Elevator and Stair

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tim Madden

Trade:
 Division of Work: Division 26
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
Lighting, receptacles, fire alarm, technology	1,550	S.F.	\$20.00	\$31,000.00	\$25.00	\$38,750.00	\$0.00	\$0.00	\$0.00	\$0.00	\$69,750.00
Contractor Mobilization/Shop Drawings/Close-out Documents	1	Lot	\$0.00	\$0.00	\$1,250.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,250.00
	0		\$1,000.00	\$0.00	\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal **\$31,000.00** **\$40,000.00** **\$0.00** **\$0.00** **\$71,000.00**

RS Means City Cost Indexes

City Cost Index Based on Zip Code Subtotal 61801 99.4% \$30,814.00 94.2% \$37,680.00 100.0% \$0.00 100.0% \$0.00 \$68,494.00

Overhead & Profit

Cost 15.0% \$4,622.10 15.0% \$5,652.00 15.0% \$0.00 5.0% \$0.00 \$10,274.10
 Subtotal \$35,436.10 \$43,332.00 \$0.00 \$0.00 \$78,768.10

Insurance & Bonds

Cost 2.0% \$708.72 \$866.64 \$0.00 \$0.00 \$1,575.36

Grand Total **\$36,144.82** **\$44,198.64** **\$0.00** **\$0.00** **\$80,343.46**

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study

Opinion of Probable Cost - Electrical

Pricing Item 2: Option #1 - Main Entry, Ramp & Canopy

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tim Madden

Trade:
 Division of Work: Division 26
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
LED downlights in canopy, conduit, conductors, controls, hangers, etc.	14	Lot	\$550.00	\$7,700.00	\$450.00	\$6,300.00	\$0.00	\$0.00	\$0.00	\$0.00	\$14,000.00
Contractor Mobilization/Shop Drawings/Close-out Documents	1	Lot	\$0.00	\$0.00	\$1,250.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,250.00
	0		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal **\$7,700.00** **\$7,550.00** **\$0.00** **\$0.00** **\$15,250.00**

RS Means City Cost Indexes

City Cost Index Based on Zip Code
 Subtotal 61801 99.4% \$7,653.80 94.2% \$7,112.10 100.0% \$0.00 100.0% \$0.00 \$14,765.90

Overhead & Profit

Cost 15.0% \$1,148.07 15.0% \$1,066.82 15.0% \$0.00 5.0% \$0.00 \$2,214.89
 Subtotal \$8,801.87 \$8,178.92 \$0.00 \$0.00 \$16,980.79

Insurance & Bonds

Cost 2.0% \$176.04 \$163.58 \$0.00 \$0.00 \$339.62

Grand Total **\$8,977.91** **\$8,342.49** **\$0.00** **\$0.00** **\$17,320.40**

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study

Opinion of Probable Cost - Electrical

Pricing Item 3: Option #1 - Main Entry Canopy

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tim Madden

Trade:
 Division of Work: Division 26
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
LED downlights in canopy, conduit, conductors, controls, hangers, etc.	10	Lot	\$550.00	\$5,500.00	\$450.00	\$4,500.00	\$0.00	\$0.00	\$0.00	\$0.00	\$10,000.00
Contractor Mobilization/Shop Drawings/Close-out Documents (assumed included in Items #1)	0	Lot	\$0.00	\$0.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
	0	Lot	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal			\$5,500.00		\$4,500.00		\$0.00		\$0.00	\$10,000.00
RS Means City Cost Indexes										
City Cost Index Based on Zip Code	61801	99.4%		94.2%		100.0%		100.0%		
Subtotal			\$5,467.00		\$4,239.00		\$0.00		\$0.00	\$9,706.00
Overhead & Profit		15.0%		15.0%		15.0%		5.0%		
Cost			\$820.05		\$635.85		\$0.00		\$0.00	\$1,455.90
Subtotal			\$6,287.05		\$4,874.85		\$0.00		\$0.00	\$11,161.90
Insurance & Bonds		2.0%								
Cost			\$125.74		\$97.50		\$0.00		\$0.00	\$223.24
Grand Total			\$6,412.79		\$4,972.35		\$0.00		\$0.00	\$11,385.14

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study
Opinion of Probable Cost - Electrical
Pricing Item 4: East Ramp and Roof Extension

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tim Madden

Trade:
 Division of Work: Division 26
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
LED downlights in canopy, conduit, conductors, controls, hangers, etc.	10	Lot	\$550.00	\$5,500.00	\$450.00	\$4,500.00	\$0.00	\$0.00	\$0.00	\$0.00	\$10,000.00
Contractor Mobilization/Shop Drawings/Close-out Documents (assumed included in Items #1)	0	Lot	\$0.00	\$0.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
	0	Lot	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal			\$5,500.00		\$4,500.00		\$0.00		\$0.00	\$10,000.00
RS Means City Cost Indexes										
City Cost Index Based on Zip Code	61801		99.4%		94.2%		100.0%		100.0%	
Subtotal			\$5,467.00		\$4,239.00		\$0.00		\$0.00	\$9,706.00
Overhead & Profit			15.0%		15.0%		15.0%		5.0%	
Cost			\$820.05		\$635.85		\$0.00		\$0.00	\$1,455.90
Subtotal			\$6,287.05		\$4,874.85		\$0.00		\$0.00	\$11,161.90
Insurance & Bonds			2.0%							
Cost			\$125.74		\$97.50		\$0.00		\$0.00	\$223.24
Grand Total			\$6,412.79		\$4,972.35		\$0.00		\$0.00	\$11,385.14

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study
Opinion of Probable Cost - Electrical
Pricing Item 5: Option #4: Main Entry Ramp & Canopies

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tim Madden

Trade:
 Division of Work: Division 26
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
LED downlights in canopy, conduit, conductors, controls, hangers, etc.	14	Lot	\$550.00	\$7,700.00	\$350.00	\$4,900.00	\$0.00	\$0.00	\$0.00	\$0.00	\$12,600.00
Contractor Mobilization/Shop Drawings/Close-out Documents (assumed included in Items #1)	0	Lot	\$0.00	\$0.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00

Subtotal			\$7,700.00		\$4,900.00		\$0.00		\$0.00	\$12,600.00
RS Means City Cost Indexes										
City Cost Index Based on Zip Code	61801									
Subtotal		99.4%	\$7,653.80		\$4,615.80		\$0.00		100.0%	\$12,269.60
Overhead & Profit		15.0%							5.0%	
Cost			\$1,148.07		\$692.37		\$0.00			\$1,840.44
Subtotal			\$8,801.87		\$5,308.17		\$0.00			\$14,110.04
Insurance & Bonds		2.0%								
Cost			\$176.04		\$106.16		\$0.00			\$282.20
Grand Total			\$8,977.91		\$5,414.33		\$0.00		\$0.00	\$14,392.24

Unitarian Universalist Church of Urbana-Champaign - Accessibilty Study
Opinion of Probable Cost - Electrical
Pricing Item 6: Parking Lot

Designation: Base Bid
 Submittal:
 Date: 7/22/2022
 Estimate By: Tim Madden

Trade:
 Division of Work: Division 26
 Reifsteck Reid Job #: 202213
 WES Job Number: 22-19

Description	Quantity	Units	Material		Labor		Equipment		Subcontract		Total Cost
			Item Cost	Total	Item Cost	Total	Item Cost	Total	Item Cost	Total	
Parking lot lighting (Concrete base, pole, LED head, conduit, wiring, controls, trenching, backfill, etc.)	4	Lot	\$3,500.00	\$14,000.00	\$3,500.00	\$14,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$28,000.00
Contractor Mobilization/Shop Drawings/Close-out Documents (assumed included in Items #1)	1	Lot	\$0.00	\$0.00	\$1,250.00	\$1,250.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,250.00
Subtotal				\$14,000.00		\$15,250.00		\$0.00		\$0.00	\$29,250.00
RS Means City Cost Indexes											
City Cost Index Based on Zip Code	61801		99.4%		94.2%		100.0%		100.0%		
Subtotal				\$13,916.00		\$14,365.50		\$0.00		\$0.00	\$28,281.50
Overhead & Profit			15.0%		15.0%		15.0%		5.0%		
Cost				\$2,087.40		\$2,154.83		\$0.00		\$0.00	\$4,242.23
Subtotal				\$16,003.40		\$16,520.33		\$0.00		\$0.00	\$32,523.73
Insurance & Bonds		2.0%									
Cost				\$320.07		\$330.41		\$0.00		\$0.00	\$650.47
Grand Total				\$16,323.47		\$16,850.73		\$0.00		\$0.00	\$33,174.20